

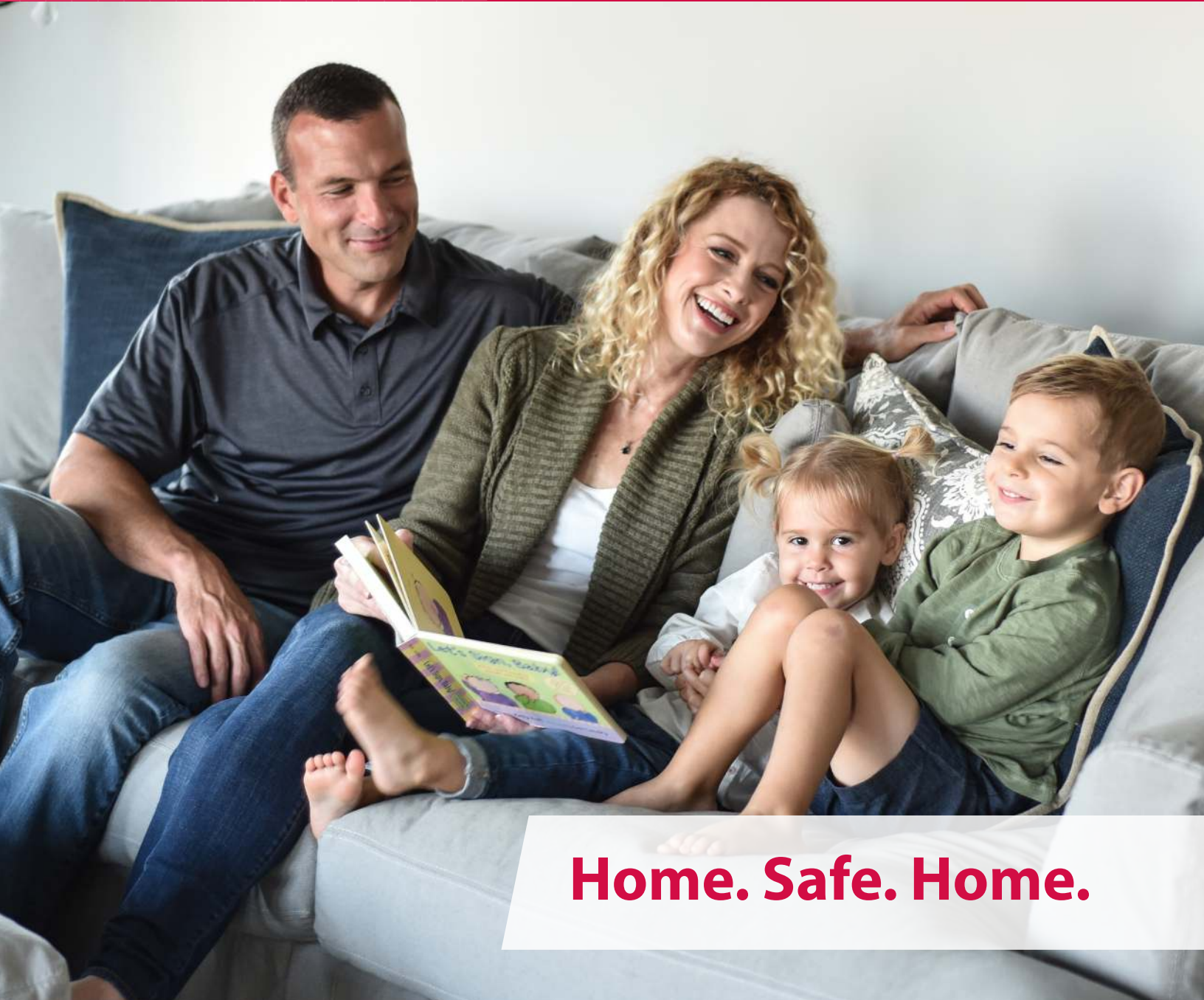


# HomeTeam<sup>®</sup>

## INSPECTION SERVICE

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### HOME INSPECTION REPORT



**Home. Safe. Home.**



## WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

## WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

## OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

## WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

## WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

**Thank you for allowing us the opportunity to serve you.**



FAST



TRUSTED



ACCURATE

File Number: **xxxx**  
Address of Inspection: **123 Sample Drive**



123 Franchise Street, Anytown, NC  
Website: HomeTeam.com

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**HomeTeam**<sup>®</sup>  
INSPECTION SERVICE

**John Doe**  
**123 Sample Drive**  
**Anytown, NC**



**Dear John,**

Recently, HomeTeam Inspection Service made a visual inspection of the property referenced above. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Home Inspection Agreement. Although maintenance items may have been addressed verbally at the time of the inspection, they may not be included in the enclosed report.

I trust the enclosed information will help you make an informed decision. If I can be of any assistance, please feel free to call me at 844.HOMETEAM. Enjoy your new home!

Sincerely,

**Michael Smith**  
**HomeTeam Inspection Service**

## **PREFACE:**

This report is intended for the sole, confidential, and exclusive use and benefit of the Client(s) under a written HomeTeam Inspection Agreement. This report is not intended for the benefit of, and may not be relied upon by, any other party. The disclosure or distribution of this report to the current owner(s) of the property inspected or to any real estate agent will not make those persons intended beneficiaries of this report. The HomeTeam Inspection Service has no liability to any party (other than the HomeTeam client named above, for whom this report was expressly prepared) for any loss, damage or expense (including, without limitation, attorney fees) arising from any claim relating to this report.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection. We will not render an opinion as to the condition of any systems or components of the structure that are concealed by walls, floors, drywall, paneling, suspended ceiling tiles, insulation, carpeting, furniture or any other items stored in or on the property at the time of the inspection.

The results of this home inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection. No warranty or guaranty is expressed or implied.

If the person conducting your home inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts, you may be advised to seek professional opinion as to any defects or concerns mentioned in the report. If the age, condition or operation of any system, structure or component of the property is of a concern to you, it is recommended that a specialist in the respective field be consulted for a more technically exhaustive evaluation.

This home inspection report is not to be construed as an appraisal and may not be used as such for any purpose.

This inspection report includes a description of any **material defects**\* noted during the inspection, along with any recommendation that certain experts be retained to determine the extent of the defects and any corrective action that should be taken. Any material defect that poses an unreasonable risk to people on the property will be conspicuously defined as such. Any recommendations made to consult with other specialists for further evaluation as a result of our findings should be complete prior to the conclusion of the inspection contingency period. The Client warrants they will read the entire Inspection Report when received and shall promptly contact HomeTeam regarding any questions or concerns the Client may have regarding the inspection or the Inspection Report.

**Material Defect:** A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to the people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

The majority of home inspections are performed on pre-existing structures. These structures range in age from new construction to historic century homes. Building techniques have changed dramatically over the decades. The age and method of construction affects the character of individual homes and entire neighborhoods, and often affect a buyer's decision to purchase one home over another.

We will not determine the cause of any condition or deficiency, determine future conditions that may occur including the failure of systems and components or consequential damage or components or determine the operating costs of systems or components.

It is not uncommon to observe cracks or for cracks to occur in concrete slabs or exterior and interior walls. Cracks may be caused by curing of building materials, temperature variations and soil movement such as: settlement, uneven moisture content in the soil, shock waves, vibrations, etc. While cracks may not necessarily affect the structural integrity of a building, cracks should be monitored so that appropriate maintenance can be performed if movement continues at an abnormal rate. Proper foundation maintenance is key to the prevention of initial cracks or cracks enlarging. This includes, but not limited to proper watering, foundation drainage and removal of vegetation growth near the foundation.

## SUMMARY PAGE

**This summary is not the entire report. The full report may include additional information of interest or concern to the client. It is strongly recommended that the client promptly read the complete report. For information regarding the negotiability of any item in this report under a real estate purchase contract, contact your North Carolina real estate agent or an attorney.**

**This summary report now has hyperlink capability. Click on a remark in the summary and the PDF will jump to the page, in the body of the report, where that remark (and photos, if applicable) can be found.**

### Safety Concerns

1. The ground-fault circuit interrupter (GFCI) outlets located in the kitchen left of the range, in the powder room and in the upstairs hallway bathroom are defective. The devices do not trip. Defective GFCI outlets can be a safety hazard. Have a qualified electrical contractor replace the GFCI outlets and confirm safe operation.
2. In this home there are smoke detectors only in each hallway. For safety we recommend a centrally located detector on each level plus one in each bedroom. Have a qualified technician install smoke detectors as recommended.
3. There are no carbon monoxide monitors in this home. For safety, any home with a gas fireplace should have a carbon monoxide monitor centrally located on each level of the living quarters. Have a qualified technician install CO monitors as required.

### Exterior

1. There is cracked concrete on the patio. Cracked concrete can spall further in freezing conditions. Recommend having a concrete contractor repair the area.

### Walkway/Driveway

1. The driveway has several cracks with slight separation. Freezing moisture here may create further cracks and spalling. Have a qualified contractor seal these cracks.

### Porch and Steps

1. The rear brick steps have missing mortar in places. This can allow water to enter the steps, freeze, expand, and cause further damage. Have a qualified contractor re-point the mortar as required.

### Siding

1. There is one area on the left side of the home where the vinyl siding is damaged, apparently by lawn equipment. If left, this can allow moisture to penetrate and damage structural components. Have a qualified contractor evaluate and repair as required.

### Roof

1. In the attic there is evidence of moisture staining to the roof sheathing at the plumbing vent. If the roof is actively leaking, this can lead to further damage to structural components. Have a qualified roofing contractor evaluate and repair as required.
2. On this roof, several shingles appeared to be in poor condition at the rear left corner of the home. Broken, loose and/or cracked shingles can allow the infiltration of water and lead to damaged structural components. Have a qualified contractor to evaluate and repair as required.

### Gutters

1. At the back porch, the gutter downspout is partially underground. This may interfere with proper drainage. Have a qualified contractor repair as required to configure this downspout for proper drainage moving water away from the foundation.

### Electrical

1. Throughout the home, several lights were inoperable. These include one garage coach light, one flood light and the bonus room attic space light. These may be blown bulbs. Replace any defective bulbs and, if still inoperable, have a qualified electrician repair as required.

### **Windows & Doors**

1. At the garage walk-in door the lower frame is rotted. If left, this conditions can lead to structural damage. Have a qualified contractor repair the frame as required.

### **Crawl Space**

1. In this sealed crawl space, there is a dehumidifier operating. A DH unit is beyond the scope of this inspection. There is evidence of a past problem with microbial growth on the wood floor structure that now appears to be dormant. It appears the DH unit, the sealed vents and the new vapor barrier were in response to this past problem. It is critical that the DH unit be kept operating in this sealed environment. Ask for seller disclosure on the past issues including the microbial growth and if the area was evaluated by a qualified contractor for any required mitigation. If necessary, have a qualified industrial hygienist evaluate and advise.

### **HVAC**

1. In the attic and crawl space, both HVAC indoor units have no secondary condensate drain. If the primary drains become inoperable, condensate can spill over the primary pan and cause corrosion and damage in the units. Secondary drains are essential for proper functioning of these units. Have a qualified HVAC contractor evaluate and repair as required.
2. The insulation on the upstairs HVAC outdoor unit refrigerant line set is damaged. This could adversely affect the efficiency of the system. Have a qualified HVAC contractor repair the insulation as necessary.

### **Plumbing**

1. The left outdoor faucet leaks from the valve stem when turned on. If left, this valve could fail completely and run large amounts of water. Have a qualified plumbing contractor repair or replace this faucet.

## **GENERAL DESCRIPTION**

The intent of this report is to provide the client with an understanding of the property conditions at the time of the home inspection. Unless otherwise listed as a limitation, this inspection covers all readily visible and readily accessible installed systems and components described in the Standards of Practice of the North Carolina Home Inspector Licensure Board.

The primary purpose for a home inspection is to identify material defects and safety concerns. The condition of paint, wall coverings, carpeting, window treatments, etc., are not addressed. Routine maintenance items are not within the scope of this inspection unless they otherwise constitute visually observable defects.

Where material defects or safety concerns are observed, this report strives to 1) describe the system or component, 2) state how the condition is defective 3) explain the implications of the defect and 4) direct the client to a course of action for repair, further investigation by a specialist, or subsequent observation.

Throughout this report, the terms "right" and "left" are used to describe the home as viewed from the street.

### **conditions**

At the time of the inspection, the approximate temperature was 75 to 80 degrees Fahrenheit, and the weather was cloudy. The buyers agent was present. The utilities were on. According to the buyers agent the home was built in 1996.

## **EXTERIOR**

### **lot and grade**

HomeTeam visually assesses the lot and grading around the home to make sure the soil is sloped away from the house to prevent water penetration. There were no concerns observed with the vegetation/grading around the home.

### **walkways and driveway**

Walkways and driveways are inspected for potential trip hazards and major cracking/spalling. Minor cracking and spalling in walkways and driveways develop and progress with age and are considered normal as long as they do not create a safety hazard. There were concerns observed in the walkway and/or driveway.





***The driveway has several cracks with slight separation. Freezing moisture here may create further cracks and spalling. Have a qualified contractor seal these cracks.***



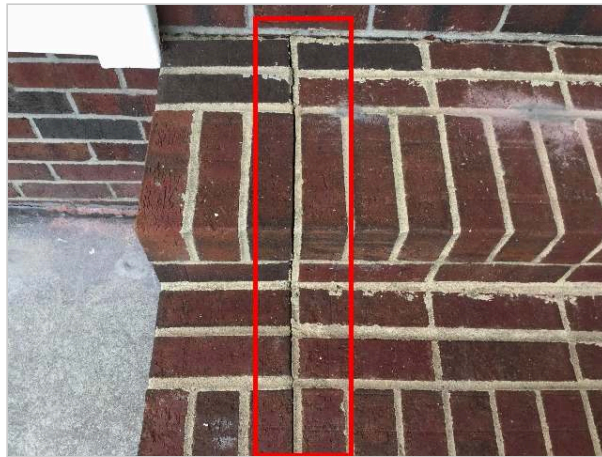
**porch(es)**

There were concerns observed on the porch(es) of the home.





***The rear brick steps have missing mortar in places. This can allow water to enter the steps, freeze, expand, and cause further damage. Have a qualified contractor re-point the mortar as required.***



### **patio**

There were concerns observed on the patio(s) of the home.

***There is cracked concrete on the patio. Cracked concrete can spall further in freezing conditions. Recommend having a concrete contractor repair the area.***



### **gas meter and piping**

There was no gas meter but there was an LP bottle feeding the fireplace. The bottle and all visible gas piping were

visually inspected. The gas service pipe to the home is not bonded to the electrical grounding system. There were no concerns observed in the gas meter or piping.



**siding**

The inspected property's exterior siding consisted of vinyl. Trim materials at the home consisted of vinyl and metal. There were concerns observed on the visible portions of the siding, trim, eaves, soffits, and/or fascias.



***There is one area on the left side of the home where the vinyl siding is damaged, apparently by lawn equipment. If left, this can allow moisture to penetrate and damage structural components. Have a qualified contractor evaluate and repair as required.***



### **entry doors & window exteriors**

All entry doors were inspected to determine fit and seal and general condition. All windows are inspected from the exterior to determine fit, any breakage and trim condition. There were concerns observed on the exterior/entry doors and exterior window surfaces.

***At the garage walk-in door the lower frame is rotted. If left, this conditions can lead to structural damage. Have a qualified contractor repair the frame as required.***



### **exterior columns/piers**

Columns and piers located around the outside of the house were constructed with wood. There were no concerns observed on columns/piers.

### **ROOF**

The roof was a gable design covered with asphalt/fiberglass shingles. Observation of the roof surfaces, flashing and penetrations through the roof was performed from the ground level with the aid of binoculars. Inspectors are not required to get on the roof, and will only walk on surfaces that are determined by the inspector to be safe and accessible.

Roof flashings are not fully visible and may be concealed in areas. Client may wish to review further if adverse conditions are observed. This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be maintained for the life of the roof.

There were concerns observed on the roof and/or roof penetrations.



***On this roof, several shingles appeared to be in poor condition at the rear left corner of the home. Broken, loose and/or cracked shingles can allow the infiltration of water and lead to damaged structural components. Have a qualified contractor to evaluate and repair as required.***



## **gutters**

Gutters and downspouts are visually inspected. HomeTeam cannot determine the draining capabilities of gutter systems, but will look for visible signs of any issues. Gutters and downspouts should receive routine maintenance to prevent premature failure. There were concerns observed on the visible portions of the gutters or downspouts.

***At the back porch, the gutter downspout is partially underground. This may interfere with proper drainage. Have a qualified contractor repair as required to configure this downspout for proper drainage moving water away from the foundation.***



## **chimneys and flues**

Chimneys and flues are inspected visually for proper structure and clearances. Interior condition of chimney/flues are not inspected/determined during a standard home inspection. Only an exterior inspection is performed as applicable. Client may wish to have further review prior to usage if of a concern. There were no concerns observed with the chimney(s)/flue(s).

## **ATTACHED GARAGE**

There was an attached garage at the house. The garage door was tested using installed controls, and tested for reversal when met with reasonable resistance. The functionality of remote transmitters, keyless entry, or other opening devices are not tested during the home inspection. There were no concerns observed in the garage.



## **ELECTRIC SERVICE**

Inspection of the electrical system of the house includes: service entrance conductors and equipment, grounding equipment, main and distribution panels, amperage and voltage ratings of the service, branch circuit conductors and compatibility of their ampacities, operation of a representative number of lighting fixtures/switches/outlets inside house, garage, and exterior walls, polarity and grounding of all receptacles within 6 feet of plumbing fixtures, operation of GFCI devices, inspection of visible wiring and presence of smoke and carbon monoxide detectors.

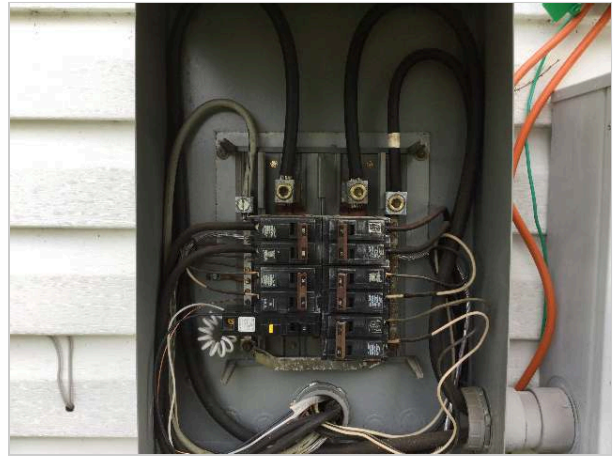
### **service entrance**

The underground electric service wire entered outside of the home on the left side wall. The service entrance cable consisted of stranded aluminum with an estimated amperage of 200 amps. Typical grounding methods were visible. Grounding wires/rods are concealed and not visible in areas.



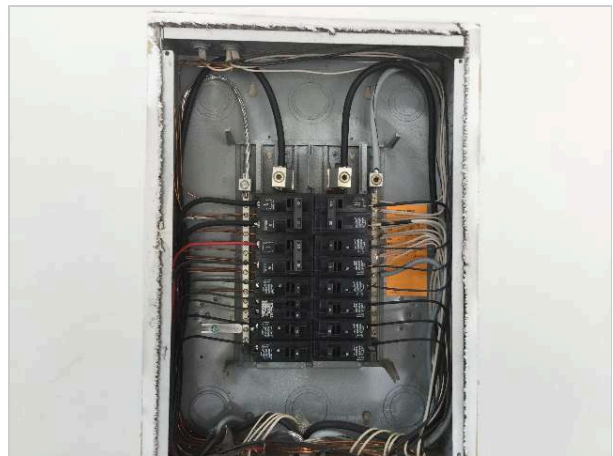
### **main panel**

The main service panel is located on the exterior wall with a 200 amp and 110/220 volt rated capacity. The main service disconnect switch was located in the main panel. There were no 110v branch circuits within the main panel. The 220v branch circuits were aluminum and copper. These branch circuits were attached to breakers. There were no concerns observed within the main panel.



### sub panel

A subpanel is located on the garage wall with a 125 amp and 110/220 volt rated capacity. The panel disconnect switch was located in the main panel. The 110v branch circuits within the panel were copper. The 220v branch circuits were aluminum and copper. These branch circuits were attached to breakers. There were no concerns observed within the sub panel.



### electric switches, receptacles & fixtures

A representative number of lighting fixtures, switches and outlets inside the house, garage (when present), and exterior walls, are checked during the inspection. Also, the presence and operation of ground-fault interrupter (GFCI) outlets, where recommended, are confirmed. There were concerns observed with the switches, receptacles and fixtures.

***The ground-fault circuit interrupter (GFCI) outlets located in the kitchen left of the range, in the powder room and in the upstairs hallway bathroom are defective. The devices do not trip. Defective GFCI outlets can be a safety hazard. Have a qualified electrical contractor replace the GFCI outlets and confirm safe operation.***

***Throughout the home, several lights were inoperable. These include one garage coach light, one flood light and the bonus room attic space light. These may be blown bulbs. Replace any defective bulbs and, if still inoperable, have a qualified electrician repair as required.***

### electric wiring

Where visible, the electrical wiring and junction boxes were inspected. There were no concerns observed with the electrical wiring or junction boxes.

### smoke/carbon monoxide detectors

All smoke detectors and carbon monoxide monitors found in house were tested during the inspection. Further, the absence of smoke detectors or CO monitors, where needed, is noted. For safety reasons, the alarms should be tested

again upon occupancy. The batteries (if any) should be replaced with new ones when you move into the house, and tested on a monthly basis thereafter. There were concerns found in the smoke detectors and/or carbon monoxide monitors in the house.

***In this home there are smoke detectors only in each hallway. For safety we recommend a centrally located detector on each level plus one in each bedroom. Have a qualified technician install smoke detectors as recommended.***

***There are no carbon monoxide monitors in this home. For safety, any home with a gas fireplace should have a carbon monoxide monitor centrally located on each level of the living quarters. Have a qualified technician install CO monitors as required.***

## **INTERIORS**

### **interior floors walls & ceilings**

HomeTeam inspects the interior for visible areas of concern and safety. The condition of cosmetic items such as: paint, wall coverings, carpeting, window treatments, blinds, etc., are not addressed. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted/covered. Inspections are often limited in the interior by storage/belongings/furniture, wall paper, area rugs, and any occupied rooms. HomeTeam does not move furniture or personal belongings during the inspection. The structural components of the walls and ceilings were not inspected as they were not visible due to wall/ceiling coverings (drywall, etc.). There were no concerns observed at the interior floors, walls or ceilings.

### **interior windows and doors**

A representative number of interior doors were inspected to determine fit and general condition. A representative number of windows were inspected from the interior to determine fit and function, any thermal seal failure, any breakage and trim condition. There were no concerns observed on the interior doors and/or the interior window surfaces.

### **bathrooms**

The bathroom(s) of the home were inspected for functional flow and drainage, presence of hot/cold water, proper installation of piping/fixtures, any visible leaks and proper ventilation. This report is not intended to be an exhaustive list of minor plumbing issues. Concealed, latent, or intermittent plumbing issues may not be apparent during the testing period.

The bathroom(s) were vented by exhaust fan(s).

There were no issues of concern in the bathroom(s).

### **insulation at unfinished spaces**

It is vital that a home be properly insulated, not only for energy efficiency but also to prevent unwanted condensation at surfaces due to temperature differentials at floor/crawlspace, ceiling/attic and wall/exterior surfaces. Temperature differentials across these surfaces can create condensation leading to mold, mildew and wood rot. All visible unfinished spaces at conditioned surfaces were insulated.

## **STAIRWAY**

The stairway was inspected and there were no defects or visual safety concerns observed with the steps, stairways or handrails.

## **KITCHEN**

The visible portions of the kitchen cabinets and counter tops were in good condition. The built-in appliances were turned on to check operational function only. Inspector did not check the functionality of any clocks or timers. No consideration is given regarding the age or components that may be worn or otherwise affected by wear and tear or use. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components.



### **refrigerator**

There was an operating refrigerator installed in the kitchen.

### **dishwasher**

The installed dishwasher was run through a normal cycle during the inspection and operated properly.

### **disposal**

There is no disposal installed in the kitchen sink.

### **range**

There was an electric range installed in the kitchen. It was operable.

### **kitchen exhaust**

The kitchen was found to have a recirculating exhaust source. The exhaust capacity is not within the scope of this inspection.

### **microwave**

There was not a microwave oven permanently installed in the kitchen. Only permanently installed microwaves are tested during the inspection.

### **trash compactor**

There was no trash compactor.

## **FIREPLACE**

The inspection of fireplaces inside the house is not technically exhaustive. The fireplace inspection is visual and does not include the interior of flues or chimneys, draft characteristics, chimney or firebox integrity or the adequacy of draft, or airflow. Consult with a reputable chimney and fireplace professional if a full evaluation is desired. For safety reasons, a fireplace and the chimney or pipe to which it is vented should be cleaned and checked again for any visible concerns. The conditions of the fireplace(s) found in the home are as follows:

### **gas fireplace**

The gas fireplace was visually inspected and operated. This unit is operated from the base of the unit. These units usually come with an instruction plate that is attached to the unit inside the control access panel. Be sure to read and understand the operating procedures prior to operating the unit. HomeTeam does not light any pilot lights during inspection. There were no concerns observed on the gas fireplace.



## **ATTIC STRUCTURE**

As with all aspects of the home inspection, attic and roof inspections are limited in scope to the visible and readily accessible areas. Many areas of the roof are not visible from the attic especially near the base, where the largest volume of water drains. The presence of or active status of roof leaks cannot be determined unless the conditions which allow leaks to occur are present at the time of the inspection. Please be aware that rain alone is not always a condition that causes a leak to reveal itself. The conditions that cause leaks to occur can often involve wind direction, the length of time it rains, etc. The inspection does not offer or imply an opinion or warranty as to the past, present or future possibility of roof, skylight, flashing or vent leaks.

The attic was inspected from the installed decking, with a camera and flashlight. The attic above the living space was insulated with loose-fill insulation. Ventilation throughout the attic was provided by soffit and ridge vents. An attic fan was not installed. The roof was framed with trusses and OSB sheathing.

There were concerns observed in the attic or roof structure.





*The attic inspection was limited by the configuration. It was not possible to view all areas.*



Area over bonus room

***In the attic there is evidence of moisture staining to the roof sheathing at the plumbing vent. If the roof is actively leaking, this can lead to further damage to structural components. Have a qualified roofing contractor evaluate and repair as required.***



## **FOUNDATION**

The house was built on a crawl space type foundation. Conditions of the foundation are as follows:

### **crawl space**

The inspector entered the crawl space at the access point. Crawl space was visually inspected with a flashlight, probe, moisture meter, and camera in all accessible areas. The crawl space was fully accessible. In areas that were not accessible, inspector viewed as best he could from a distance with a flashlight.

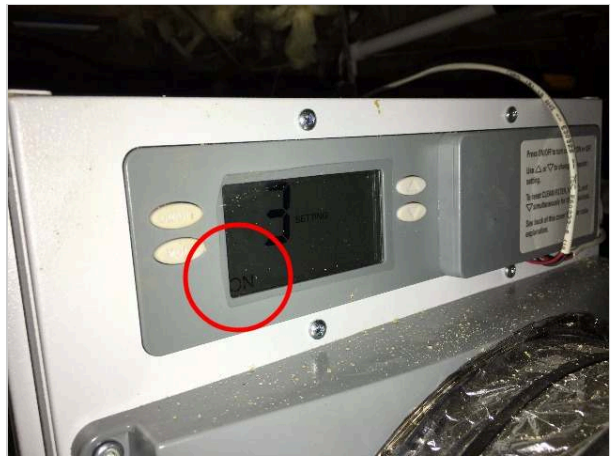
A vapor barrier is installed. Crawl space was insulated with blanket/batt insulation. There were concerns observed in the crawl space.



***In this sealed crawl space, there is a dehumidifier operating. A DH unit is beyond the scope of this inspection. There is evidence of a past problem with microbial growth on the wood floor structure that now appears to be dormant. It appears the DH unit, the sealed vents and the new vapor barrier were in response to this past problem. It is critical that the DH unit be kept operating in this sealed environment. Ask for seller disclosure on the past issues including the microbial growth and if the area was evaluated by a qualified contractor for any required mitigation. If necessary, have a qualified industrial hygienist evaluate and advise.***



DH unit



DH unit on



Old microbial growth on wood

### **water penetration**

Wood moisture levels were checked during the inspection using a moisture meter. High moisture levels can generate conditions that are ideal for wood destroying insects, fungal growth, and wood damage/rot. Client should note that moisture levels could be high or low based on the prevailing conditions throughout the year. Client should take measures to ensure foundation areas are as dry as possible. There were no concerns observed with the wood moisture content.



### **FLOOR STRUCTURE**

The floor structure was visible from the crawl space. Flooring was supported by traditional framing on top of piers. There were concerns observed in the visible portions of the flooring and/or the supports. **See the CRAWL SPACE section for further remarks.**



## **HVAC SYSTEM**

The heating and cooling system was evaluated by HomeTeam. Periodic preventive maintenance is recommended to keep this unit in good working condition. Annual maintenance of the heating and cooling equipment is essential for safe and efficient performance, which will maximize the system's useful life. The results of our visual and operational evaluation of the system is described below:

The home was heated and cooled downstairs by an International Comfort Products electric heat pump & air conditioner split system . The units were located in the crawlspace of the home. These units are approximately 8 years old.

The home was heated and cooled upstairs by a Payne electric heat pump & air conditioner split system . The units were located in the attic and outside of the home. These units are approximately 9 years old.

Heat and cooling were distributed through the home by a duct system.



### **hvac: heat pump**

Examination of heating systems is mechanically limited since the unit cannot be dismantled to examine all of the interior components. The electric heating elements can and will fail. The inspection does not include a heat-loss analysis, heating design or adequacy evaluation, energy efficiency assessment, or installation compliance check.

The heat pump systems were tested and evaluated for proper functions including: operation under normal operating controls, check of automatic safety controls, distribution systems, and presence or absence of heat and cooling source in each habitable space.

There were no concerns observed with the heat pumps.

### **hvac: air conditioning**

**NOTE: Air conditioning systems are not operated if the outdoor temperature is below 65 degrees Fahrenheit at**

***the time of the inspection. Operating an air conditioning system in lower ambient temperatures may result in damage to the system.***

The electric air conditioners were visually evaluated for defects and operated. If operated (using normal operating controls), the inspector also visually evaluated distribution system, and checked for the presence or absence of cooling in each habitable space.

Periodic preventive maintenance is recommended to keep these units in good working condition. The home inspection does not include a cooling design or adequacy evaluation, energy efficiency assessment, installation compliance check or refrigerant evaluation.

There were concerns observed in the air conditioners.

***In the attic and crawl space, both HVAC indoor units have no secondary condensate drain. If the primary drains become inoperable, condensate can spill over the primary pan and cause corrosion and damage in the units. Secondary drains are essential for proper functioning of these units. Have a qualified HVAC contractor evaluate and repair as required.***



Attic



Crawl Space

***The insulation on the upstairs HVAC outdoor unit refrigerant line set is damaged. This could adversely affect the efficiency of the system. Have a qualified HVAC contractor repair the insulation as necessary.***



## **ductwork**

There will be normal temperature variations from room to room and level to level, most noticeable between levels. Inspection of air and duct supply system for adequacy, efficiency, capacity or uniformity of the conditioned air to the various parts of the structure is beyond the scope of the home inspection.

The air filters should be replaced or cleaned on a regular basis to maintain the efficiency of the system. The efficiency rating is not within the scope of this inspection. There were no concerns observed with the ductwork in the house.

## **PLUMBING**

The home was connected to a public water system. The water lines throughout the home were CPVC and PEX. Water shutoff valves are not tested as part of the home inspection. Water valves that have not been operated for an extended period of time often leak after being operated. We would not be able to repair a leaking valve during the home inspection. There were no concerns observed in the plumbing supply and distribution.



## **waste lines**

The home was connected to a septic tank system. The visible waste lines consisted of ABS plastic pipe. The functional drainage of the drain waste lines appeared to be adequate at the time of the inspection. The underground drain lines are considered underground utilities and are specifically excluded from the inspection. The lines are not visible or accessible and their condition cannot be verified during a visual home inspection. Consult with a qualified plumber for a camera inspection of the sewer laterals if there is any concern as to the condition of the waste lines under the home.





### **main water shutoff**

The main water shutoff valve for the home was located in the kitchen pantry closet. Water shutoff valves are visually inspected only. No attempt is made to operate the main or any other water supply shutoff valves during the inspection. These valves are infrequently used and could leak after being operated. This is for your information.



### **fixtures and pressure**

All plumbing fixtures not permanently attached to a household appliance were operated and inspected for visible leaks. Water flow throughout the home was average. Water pressure was tested at an outdoor faucet and found to be 95. pounds per square inch. This report is not intended to be an exhaustive list of minor plumbing issues. Concealed, latent or intermittent plumbing issues may not be apparent during the testing period. There were defects observed in the visible portions of the plumbing system.

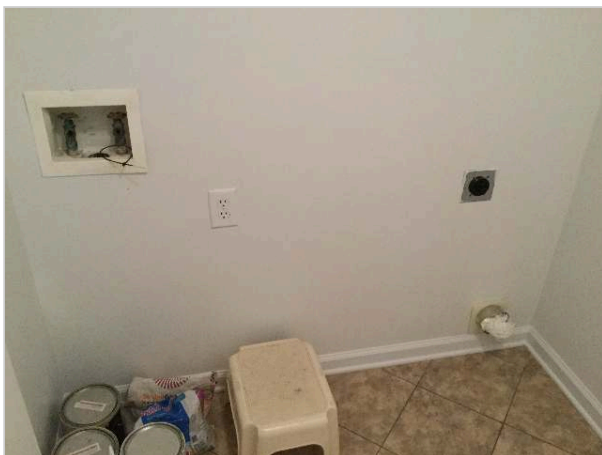


***The left outdoor faucet leaks from the valve stem when turned on. If left, this valve could fail completely and run large amounts of water. Have a qualified plumbing contractor repair or replace this faucet.***



### **washer/dryer**

Washer and dryer units are not inspected or operated as part of a standard home inspection. A visual inspection of connections, vents, and visible leaks are made when possible.



### **sump pump**

There was a sump pump located in the crawlspace. Sump pumps are visually inspected and not operated during the inspection.



## **WATER HEATER**

There was a 50 gallon capacity, electric water heater located in the garage. The water heater was manufactured by Rheem, and appeared to be 2 years old. Client should note that water temperature greater than 120 degrees presents a scalding/burn concern.

A temperature and pressure relief valve (TPRV) is not tested as part of a standard home inspection as leakage from valve can occur from testing. Your safety depends on the presence of a TPRV valve and an overflow leg terminating close to the floor.

There were no concerns observed with the hot water heater.



## **PEST INSPECTION**

The purpose of the pest inspection is to determine if there are active wood destroying insects present in the home. The pest inspection does not include determining the presence of common household insects such as spiders, ants, etc. The pest inspection was performed by a state licensed technician. Their completed report will be forwarded as an attachment.

## **RADON TEST**

Radon, the second leading cause of lung cancer, is a radioactive gas that comes from the natural breakdown of uranium in soil and rock and gets into the air you breathe. It moves through the ground and into your home through cracks and other holes in the foundation where it can accumulate to unsafe levels. Because it is odorless, colorless, and tasteless, testing is the only way to know if you and your family are at risk from radon. The radon test you requested was performed by HomeTeam. The radon inspection report will follow under separate cover upon completion of the test period

## **REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:**

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

**Intermittent or concealed problems:** Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

**No clues:** These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

**We always miss some minor things:** Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$1000 problems. These are the things that affect people's decisions to purchase.

**Contractor's advice:** A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

**"Last man in" theory:** While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

**Most recent advice is best:** There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

**Why didn't we see it?:** Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem." There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the air conditioning could not be operated because of colder outdoor temperatures, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would be invasive, would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

**Not insurance:** In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

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