



HomeTeam[®]

INSPECTION SERVICE

Wednesday, November 5, 2025

RE: 1234 Anytown Rd. Anywhere, USA 12345

Dear John Doe,

On 11/5/2025 HomeTeam Inspection Service made a visual inspection of the property referenced above. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Property Inspection Agreement. Although maintenance items may have been addressed verbally at the time of the inspection, they may not be included in the enclosed report.

I trust the enclosed information is helpful. If I can be of any assistance, please feel free to call me at the above telephone number.

Regards,

Jeff Ackerman, Owner

Brian Collins, Inspector — FL Home Inspector HI8026

HomeTeam Inspection Service





HomeTeam[®]

INSPECTION SERVICE

HOME INSPECTION REPORT



Home. Safe. Home.





SUMMARY:

This summary provides a quick overview of the results of the inspection performed on 11/5/2025 at 1234 Anytown Rd., Anywhere, USA 12345.

Read the full body of the inspection report; it contains important details and recommendations that are not included within this summary. Any additional evaluations recommended in the report must be completed prior to the conclusion of the inspection contingency period.

NOTE: *Click on any of the items listed and it will take you to the fully detailed explanation in your report.*

Safety Concerns

- RECOMMEND FIREPLACE AND CHIMNEY BE CLEANED AND INSPECTED BEFORE USE.

Roof Observations

- THE FLASHING AT THE PLUMBING VENT PIPE WAS DAMAGED. THE FLASHING SHOULD BE REPAIRED BY A QUALIFIED LICENSED CONTRACTOR TO PREVENT WATER INTRUSION TO THE HOME.

Exterior Observations

- SETTLEMENT/CRACKING WAS OBSERVED IN THE FOLLOWING LOCATIONS IN THE HOME: DRIVEWAY FURTHER EVALUATION FROM A LICENSED CONTRACTOR IS RECOMMENDED.
- THERE WAS DETERIORATION TO THE FACIA BOARDS AND SIDING IN THE FOLLOWING LOCATIONS: NUMEROUS AREAS. FURTHER EVALUATION FOR LICENSED CONTRACTORS RECOMMENDED.
- THE END CAPS FOR THE FRONT GUTTERS WERE MISSING.
- THE SUPPORT POST FOR THE ENTRYWAY ROOF WAS DETERIORATED AND NOT SECURED.
- THE STUCCO AT NUMEROUS AREAS OF THE HOME WAS DETERIORATED.
- THERE WERE NUMEROUS TREES AND TREE LIMBS THAT NEEDED TO BE CUT BACK FROM THE RIGHT AND LEFT SIDES OF THE HOUSE.
- THE SIDING AROUND THE CHIMNEY WAS DETERIORATED.
- THE SUPPORT POSTS FOR THE SCREENED IN LANAI OR DETERIORATED. FURTHER EVALUATION FROM A LICENSED CONTRACTORS IS RECOMMENDED. FURTHER EVALUATION FROM LICENSED CONTRACTOR IS RECOMMENDED.
- THE SIDING AROUND THE AC CONDENSATE LINE WAS NOT SEALED.

Interior Observations

- THE DRYWALL AT THE LANAI CEILING WAS DAMAGED. A MOISTURE METER WAS INSERTED AND FOUND NO ELEVATED MOISTURE READINGS.
- CRACKED FLOOR TILES WERE OBSERVED IN THE FOLLOWING AREAS OF THE HOME: HALL BATHROOM.
- THE DRYWALL TAPE LOCATED AT THE GARAGE CEILING WAS CRACKED.

HVAC Observations

- THE FILTER(S) ARE DIRTY AND NEED TO BE REPLACED.

Electrical Observations

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- THE ELECTRICAL PANEL IS A CHALLENGER BRAND PANEL. THERE HAVE BEEN REPORTS OF FAILURE WITH SOME CHALLENGER PANELS. IT IS RECOMMENDED THAT A LICENSED ELECTRICIAN EVALUATE THE CONDITION OF THE SERVICE PANEL. MANY INSURANCE COMPANIES ARE NO LONGER UNDERWRITING HOUSES WITH THIS TYPE OF PANEL. 4-POINT ISSUE.
- THE METER CAN IS BLOCKED BY BUSHES.
- MISSING/DAMAGED OUTLET COVERS WERE OBSERVED IN THE HOME. THESE SHOULD BE REPLACED TO ENSURE SAFETY AND PREVENT EXPOSURE TO ELECTRICAL COMPONENTS. THIS IS A 4-POINT ISSUE.
- THE SCREWS FOR SECURING THE COVER FOR THE SERVICE PANEL WERE POINTED AND MISSING AND NEED TO BE REPLACED WITH FLAT END SCREWS TO ENSURE PROPER FIT AND SAFETY. THIS IS A 4-POINT ISSUE
- THE BREAKERS IN THE SERVICE PANEL WERE NOT LABELED.
- THE MASTER BATHROOM FAN DOES NOT HAVE THE CORRECT SWITCH TO MAKE THE LIGHT AND FAN WORK.
- THERE WERE A NUMBER OF BURNT OUT/MISSING LIGHTBULBS OBSERVED THROUGHOUT THE HOME.
- EXPOSED WIRES WERE OBSERVED IN THE FOLLOWING AREAS OF THE HOME: GARAGE EXPOSED WIRES SHOULD BE PROPERLY ENCLOSED IN APPROVED CONDUIT OR TERMINATED WITHIN JUNCTION BOXES TO ENSURE SAFETY. THIS IS A 4-POINT ISSUE.
- THE COVER/COVERS FOR THE LIGHTS IN THE FOLLOWING AREAS OF THE HOME WERE MISSING: MASTER BATHROOM.
- THE COVER/COVERS FOR THE LIGHTS IN THE FOLLOWING AREAS OF THE HOME WERE MISSING: GARAGE AND LAUNDRY.
- THERE WERE MISSING GFCI RECEPTACLES IN THE KITCHEN INSTALLATION OR UPGRADE IS RECOMMENDED.
- FURTHER EVALUATION TO DETERMINE THE EXTENT AND COST OF REPAIR SHOULD BE PERFORMED BY A QUALIFIED LICENSED ELECTRICIAN.

Plumbing Observations

- THE FOLLOWING DEFECTS WERE OBSERVED IN THE IRRIGATION SYSTEM: WOULD NOT TURN ON IN THE MANUAL MODE. FURTHER EVALUATION OF THE IRRIGATION SYSTEM SHOULD BE PERFORMED BY A LICENCED IRRIGATION CONTRACTOR.
- DUE TO THE AGE OF THE WATER HEATER, THERE MAY BE LIMITED LIFE REMAINING.
- THE DRAIN STOPS IN THE MASTER BATHROOM TUB AND SINK WERE MISSING OR OTHERWISE INOPERABLE. REPAIR OR REPLACEMENT OF THE STOPS IS RECOMMENDED.
- THE FAUCET HANDLE IN THE MASTER BATHROOM SINK WAS LEAKING .
- THE HOT WATER IN THE MASTER BATHROOM SINK WAS OFF
- THE HOT WATER TEMPERATURE SHOULD BE BETWEEN 110 - 120 DEGRES F UNLESS THE HOMEOWNER HAS SET THE TEMPERATURE AT THE HOT WATER HEATER BELOW 120 DEGREES F. THE TEMPERATURE AT THE KITCHEN FAUCET WAS NOT WITHIN THIS RANGE. THE TEMPERATURE WAS 105 DEGREES. FURTHER TROUBLESHOOTING AND DIAGNOSIS BY A QUALIFIED LICENSED PLUMBING CONTRACTOR TO DETERMINE IF ANY ADJUSTMENT, MAINTENANCE OR REPAIR WILL BE REQUIRED. A RECEIPT SHOULD BE LEFT FOR YOUR RECORDS AND PROTECTION ON THE WORK THAT WAS PERFORMED.

Attic

- THE SOFFIT SCREENS FOR THE HOME HAD BEEN PAINTED. THIS IS A POTENTIAL HAZARD, AS IT MAY RESTRICT AIRFLOW INTO THE ATTIC SPACE. THE SOFFITS ARE A CRITICAL COMPONENT OF THE ATTIC VENTILATION SYSTEM, AND IMPAIRED VENTILATION CAN LEAD TO ELEVATED MOISTURE LEVELS AND POSSIBLE MOLD OR STRUCTURAL ISSUES. EVALUATION AND CORRECTION BY A QUALIFIED CONTRACTOR IS RECOMMENDED.
- THE INSULATION WAS MISSING IN A FEW AREAS OF THE ATTIC SPACE.
- THE VENT PIPE FOR THE DRYER LOCATED IN THE ATTIC SPACE WAS NOT CONSTRUCTED OF THE CORRECT MATERIAL.

Garage

- THE GARAGE DOOR WAS NOT SEALED AT THE BOTTOM.

Windows/Doors

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- THE DOOR HANDLE AND CLOSER FOR THE LANAI SCREEN DOOR WAS MISSING.
- THE CLOSET DOORS IN THE HOME WERE OFF THEIR TRACKS.
- MULTIPLE WINDOWS REQUIRE MAINTENANCE. DIFFICULT OPERATION, SPRUNG BALLAST SPRINGS, AND DAMAGED AND MISSING SCREENS WERE NOTED AT THE TIME OF THE INSPECTION.
- THE LOCKING HARDWARE FOR THE SLIDING DOORS IN THE LIVING ROOM AND DINING ROOM WAS NOT FUNCTIONAL.

Appliances

- THE ICEMAKER WAS OFF AT THE TIME OF THE INSPECTION.

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PREFACE

This report is intended for the sole, confidential, and exclusive use and benefit of the Client(s) under a written HomeTeam Inspection Agreement. This report is not intended for the benefit of, and may not be relied upon by, any other party. The disclosure or distribution of this report to the current owner(s) of the property inspected or to any real estate agent will not make those persons intended beneficiaries of this report. The HomeTeam Inspection Service has no liability to any party (other than the HomeTeam client named above, for whom this report was expressly prepared) for any loss, damage or expense (including, without limitation, attorney fees) arising from any claim relating to this report.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection. We will not render an opinion as to the condition of any systems or components of the structure that are concealed by walls, floors, drywall, paneling, suspended ceiling tiles, insulation, carpeting, furniture or any other items stored in or on the property at the time of the inspection.

The results of this home inspection are not intended to make any representation regarding the presence or absence of latent or concealed defects that are not reasonably ascertainable in a competently performed home inspection. No warranty or guaranty is expressed or implied.

If the person conducting your home inspection is not a licensed structural engineer or other professional whose license authorizes the rendering of an opinion as to the structural integrity of a building or its other component parts, you may be advised to seek professional opinion as to any defects or concerns mentioned in the report. If the age, condition or operation of any system, structure or component of the property is of a concern to you, it is recommended that a specialist in the respective field be consulted for a more technically exhaustive evaluation.

This home inspection report is not to be construed as an appraisal and may not be used as such for any purpose.

This inspection report includes a description of any **material defects*** noted during the inspection, along with any recommendation that certain experts be retained to determine the extent of the defects and any corrective action that should be taken. Any material defect that poses an unreasonable risk to people on the property will be conspicuously defined as such. Any recommendations made to consult with other specialists for further evaluation as a result of our findings should be complete prior to the conclusion of the inspection contingency period. The Client warrants they will read the entire Inspection Report when received and shall promptly contact HomeTeam regarding any questions or concerns the Client may have regarding the inspection or the Inspection Report. A "material defect" is any single defect in a system or component of the property that cannot be corrected, repaired or replaced for \$1,000 or less.

Material Defect: A problem with a residential real property or any portion of it that would have a significant adverse impact on the value of the property or that involves an unreasonable risk to the people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

The majority of home inspections are performed on pre-existing structures. These structures range in age from new construction to historic century homes. Building techniques have changed dramatically over the decades. The age and method of construction affects the character of individual homes and entire neighborhoods, and often affect a buyer's decision to purchase one home over another.

We will not determine the cause of any condition or deficiency, determine future conditions that may occur including the failure of systems and components or consequential damage or components or determine the operating costs of systems or components.

It is not uncommon to observe cracks or for cracks to occur in concrete slabs or exterior and interior walls. Cracks may be caused by curing of building materials, temperature variations and soil movement such as: settlement, uneven moisture content in the soil, shock waves, vibrations, etc. While cracks may not necessarily affect the structural integrity of a building, cracks should be monitored so that appropriate maintenance can be performed if movement continues at an abnormal rate. Proper foundation maintenance is key to the prevention of initial cracks or cracks enlarging. This includes, but not limited to proper watering, foundation drainage and removal of vegetation growth near the foundation.

INTRODUCTION

Throughout this report, the terms "right" and "left" are used to describe areas of the structure as viewed from the street. A system or component has a material defect if it is either unsafe or not functioning and cannot be replaced or rendered safe or functional for less than \$1,000. The cosmetic condition of the paint, wall covering, carpeting, window coverings, to include drywall damage, etc., is not addressed. All conditions are reported as they existed at the time of the inspection. Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute material, visually observable defects. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items and should not be relied upon for such items. When material defects are observed or minor repairs need to be made, we recommend you consult a qualified licensed professional. Cost estimates are advised prior to closing. All contractors should work for you, as their evaluation/observation may make you aware of findings not listed in this report.

A home inspection is not a home warranty, and HomeTeam strongly recommends purchasing a home warranty from a reputable company to cover items that will fail in the course of time.

CONDITIONS

The approximate temperature at the time of the inspection was 75 to 80 degrees Fahrenheit, and the weather was partly

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cloudy. The utilities were on at the time of the inspection. The age of the structure was reported to be 37 years.

The buyer was not present during the inspection.

LOT AND GRADE

The structure was situated on a level to sloped lot. The general grade around the structure appeared to be adequate to direct rain water away from the foundation, assuming normal drainage and downspout, gutter, and other systems are functioning properly.

STRUCTURE AND CLADDING

The inspected property consisted of a single story block structure with stucco and wood that was vacant at the time of the inspection. THERE WERE MATERIAL DEFECTS observed

There was a concrete walkway leading to the concrete entry way in the front of the home. There were no material defects observed in the visible portions of the walkway and the entry way .



THERE WAS DETERIORATION TO THE FACIA BOARDS AND SIDING IN THE FOLLOWING LOCATIONS: NUMEROUS AREAS. FURTHER EVALUATION FOR LICENSED CONTRACTORS RECOMMENDED.

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THE SUPPORT POST FOR THE ENTRYWAY ROOF WAS DETERIORATED AND NOT SECURED.



THE STUCCO AT NUMEROUS AREAS OF THE HOME WAS DETERIORATED.

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THERE WERE NUMEROUS TREES AND TREE LIMBS THAT NEEDED TO BE CUT BACK FROM THE RIGHT AND LEFT SIDES OF THE HOUSE.



THE SIDING AROUND THE AC CONDENSATE LINE WAS NOT SEALED.



There was a concrete driveway in the front of the home which led to the garage . There was normal settlement and expansion cracking in the concrete. THE FOLLOWING DEFECTS WERE observed in the visible portions of the driveway .

SETTLEMENT/CRACKING WAS OBSERVED IN THE FOLLOWING LOCATIONS IN THE HOME: DRIVEWAY FURTHER EVALUATION FROM A LICENSED CONTRACTOR IS RECOMMENDED.

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GARAGE

The attached garage was designed for two cars with access provided by one overhead-style door. The Genie electric garage door opener was functional. The automatic safety reverse on the garage door was tested and found to be functional. The concrete garage floor was in good condition. There were no material defects observed in the visible portions of the garage or the door mechanisms .

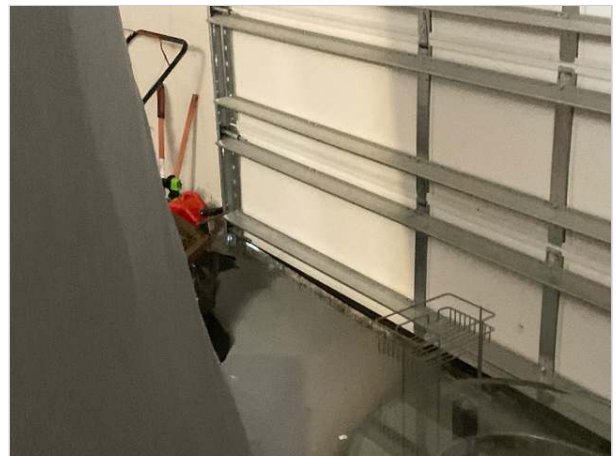
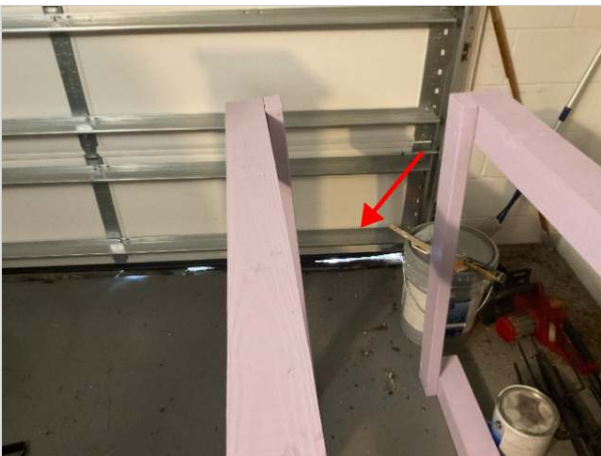


THE DRYWALL TAPE LOCATED AT THE GARAGE CEILING WAS CRACKED.

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THE GARAGE DOOR WAS NOT SEALED AT THE BOTTOM.



SLAB ON GRADE

The full slab was not visible at the time of the inspection because of carpet or other floor coverings. There were no indications of moisture present. Hairline and settlement cracking, if not excessive under existing flooring, is considered normal. There were no material defects observed in the visible portions of the slab .

FOUNDATION

The foundation was constructed of concrete. A single inspection cannot determine whether movement of a foundation or wall structure has ceased. Any exterior cracks should be patched and monitored regularly for movement. There were no material defects observed in the visible portions of the foundation .

ROOF STRUCTURE

The roof was a gable and valley design covered with asphalt/fiberglass shingles. Observation of the roof surfaces and flashing was performed from ground level with the aid of binoculars and a walk on inspection. The age of the roof covering was reported to be 10 years old. There was one layer of shingles on the roof at the time of the inspection.

There was light curling and light to moderate surface wear observed on the roof shingles at the time of the inspection. These conditions indicate the roof shingles were in the second half of their useful life. There were no material defects observed in the visible portions of the roof .

This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Any roof metal, especially the flashing and valleys, must be kept well painted with a paint specially formulated for the use. Please note that the water proofing membrane on top of the roof sheathing cannot be viewed from a visual inspection.

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THE FLASHING AT THE PLUMBING VENT PIPE WAS DAMAGED. THE FLASHING SHOULD BE REPAIRED BY A QUALIFIED LICENSED CONTRACTOR TO PREVENT WATER INTRUSION TO THE HOME.



PATIO/LANAI

There was a concrete patio located in the back of the home. There were no material defects observed in the visible portions of the patio .

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PATIO/LANAI COVER

There was a screened enclosure around the patio. THE FOLLOWING DEFECTS WERE observed in the visible portions of the patio cover or its supports .



THE SUPPORT POSTS FOR THE SCREENED IN LANAI OR DETERIORATED. FURTHER EVALUATION FROM A LICENSED CONTRACTORS IS RECOMMENDED. FURTHER EVALUATION FROM LICENSED CONTRACTOR IS RECOMMENDED.



THE DOOR HANDLE AND CLOSER FOR THE LANAI SCREEN DOOR WAS MISSING.

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THE DRYWALL AT THE LANAI CEILING WAS DAMAGED. A MOISTURE METER WAS INSERTED AND FOUND NO ELEVATED MOISTURE READINGS.



There was one chimney. Observation of the chimney exterior was made during our roof inspection. THE FOLLOWING DEFECTS WERE observed on the exterior of the chimney .



THE SIDING AROUND THE CHIMNEY WAS DETERIORATED.

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The roof drainage system consisted of aluminum gutters and downspouts which appeared to be functional at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure. THE FOLLOWING DEFECTS WERE observed in the visible portions of the gutters and downspouts .

THE END CAPS FOR THE FRONT GUTTERS WERE MISSING.



ATTIC STRUCTURE

The attic was accessed through a pull down ladder and scuttle in the garage and hallway. The attic above the living space was insulated with blown insulation, approximately 6-inches in depth. Ventilation throughout the attic was provided by gable, soffit and ridge vents. The roof structure consisted of two-inch by four-inch wood trusses spaced 24 inches on center and plywood sheathing. There were dry water stains (old) visible in the attic space. The absence of visible indications of moisture is not necessarily conclusive evidence that the roof is free from leaks. There were no material defects observed in the visible portions of the attic and roof structure .





THE SOFFIT SCREENS FOR THE HOME HAD BEEN PAINTED. THIS IS A POTENTIAL HAZARD, AS IT MAY RESTRICT AIRFLOW INTO THE ATTIC SPACE. THE SOFFITS ARE A CRITICAL COMPONENT OF THE ATTIC VENTILATION SYSTEM, AND IMPAIRED VENTILATION CAN LEAD TO ELEVATED MOISTURE LEVELS AND POSSIBLE MOLD OR STRUCTURAL ISSUES. EVALUATION AND CORRECTION BY A QUALIFIED CONTRACTOR IS RECOMMENDED.



THE INSULATION WAS MISSING IN A FEW AREAS OF THE ATTIC SPACE.

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THE VENT PIPE FOR THE DRYER LOCATED IN THE ATTIC SPACE WAS NOT CONSTRUCTED OF THE CORRECT MATERIAL.



Because of the configuration of the trusses and the ductwork, which limited access, it was not possible to inspect all areas of the attic.

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ELECTRIC SERVICE

The underground electric service wire entered the home on the exterior wall. The electric meter was located on the exterior wall. The service wire entered a Challenger service panel, located on the garage wall with a 150 amp and 120/240 volt rated capacity. The branch circuits within the panel were copper and aluminum in the 240 volt circuits. These branch circuits and the circuit breakers to which they were attached did appear to be appropriately matched. The visible wiring consisted primarily of the Romex type and appeared to be in good condition.



A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were inspected and were found to be functional. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters(GFCI), if present, were also tested. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuits located in this property.

The electrical service appeared to be adequate. Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection. THERE WERE MATERIAL DEFECTS observed in the visible portions of the electrical system .

THE ELECTRICAL PANEL IS A CHALLENGER BRAND PANEL. THERE HAVE BEEN REPORTS OF FAILURE WITH SOME CHALLENGER PANELS. IT IS RECOMMENDED THAT A LICENSED ELECTRICIAN EVALUATE THE CONDITION OF THE SERVICE PANEL. MANY INSURANCE COMPANIES ARE NO LONGER UNDERWRITING HOUSES WITH THIS TYPE OF PANEL. [4-POINT ISSUE](#).

MISSING/DAMAGED OUTLET COVERS WERE OBSERVED IN THE HOME. THESE SHOULD BE REPLACED TO ENSURE SAFETY AND PREVENT EXPOSURE TO ELECTRICAL COMPONENTS. [THIS IS A 4-POINT ISSUE](#).

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THE METER CAN IS BLOCKED BY BUSHES.



THE SCREWS FOR SECURING THE COVER FOR THE SERVICE PANEL WERE POINTED AND MISSING AND NEED TO BE REPLACED WITH FLAT END SCREWS TO ENSURE PROPER FIT AND SAFETY. [THIS IS A 4-POINT ISSUE](#)

THE BREAKERS IN THE SERVICE PANEL WERE NOT LABELED.

THE MASTER BATHROOM FAN DOES NOT HAVE THE CORRECT SWITCH TO MAKE THE LIGHT AND FAN WORK.



EXPOSED WIRES WERE OBSERVED IN THE FOLLOWING AREAS OF THE HOME: GARAGE EXPOSED WIRES SHOULD BE PROPERLY ENCLOSED IN APPROVED CONDUIT OR TERMINATED WITHIN JUNCTION BOXES TO ENSURE SAFETY. [THIS IS A 4-POINT ISSUE.](#)

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THE COVER/COVERS FOR THE LIGHTS IN THE FOLLOWING AREAS OF THE HOME WERE MISSING: GARAGE AND LAUNDRY.



THERE WERE A NUMBER OF BURNT OUT/MISSING LIGHTBULBS OBSERVED THROUGHOUT THE HOME.

THE COVER/COVERS FOR THE LIGHTS IN THE FOLLOWING AREAS OF THE HOME WERE MISSING: MASTER BATHROOM.



THERE WERE MISSING GFCI RECEPTACLES IN THE KITCHEN INSTALLATION OR UPGRADE IS RECOMMENDED.

FURTHER EVALUATION TO DETERMINE THE EXTENT AND COST OF REPAIR SHOULD BE PERFORMED BY A QUALIFIED LICENSED ELECTRICIAN. A RECEIPT SHOULD BE LEFT FOR YOUR RECORDS AND PROTECTION.

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PLUMBING

The visible water supply lines throughout the home were copper pipe. The visible waste lines consisted of PVC pipe. The HomeTeam does not test for the presence of a septic tank, HomeTeam recommends that buyers of homes verify that the home is connected to a public sewer system or septic tank. All plumbing fixtures (sinks, toilets, showers etc) were operated and inspected for visible leaks. The condition of any pipes (in slabs, under insulation, and behind walls etc.) that can not be observed is not within the scope of the home inspection. Water flow throughout the home was average. Water pressure was tested on the exterior wall and found to be 80-85 pounds per square inch. No water quality or biological testing was performed. THE FOLLOWING DEFECTS WERE observed in the visible portions of the plumbing system .



- THE DRAIN STOPS IN THE MASTER BATHROOM TUB AND SINK WERE MISSING OR OTHERWISE INOPERABLE. REPAIR OR REPLACEMENT OF THE STOPS IS RECOMMENDED.

THE FAUCET HANDLE IN THE MASTER BATHROOM SINK WAS LEAKING .



THE HOT WATER IN THE MASTER BATHROOM SINK WAS OFF

The water meter was located in the front yard.

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Bathrooms were inspected using various techniques to help identify any areas of leakage or damage. Please note that bathtubs and showers are tested without the weight of a person in the enclosure. We attempt to identify areas of potential leakage, but some problem areas may not be visible without the weight of a person in the enclosure, ie, a person taking a shower or bath. Any latent deficiencies noted under these conditions once the structure is occupied should be sealed to prevent water intrusion and damage.

There was a 40 gallon capacity, electric water heater located in the garage. The water heater was manufactured by General Electric, model number GE40M06 and serial number GE0810B16786. Information on the water heater indicated that it was manufactured 15 years ago. The water heater was functional but has limited life left due to its age.

Note: The average life of a water heater is 8 - 12 years



DUE TO THE AGE OF THE WATER HEATER, THERE MAY BE LIMITED LIFE REMAINING.

THE HOT WATER TEMPERATURE SHOULD BE BETWEEN 110 - 120 DEGRES F UNLESS THE HOMEOWNER HAS SET THE TEMPERATURE AT THE HOT WATER HEATER BELOW 120 DEGREES F. THE TEMPERATURE AT THE KITCHEN FAUCET WAS NOT WITHIN THIS RANGE. THE TEMPERATURE WAS 105 DEGREES. FURTHER TROUBLESHOOTING AND DIAGNOSIS BY A QUALIFIED LICENSED PLUMBING CONTRACTOR TO DETERMINE IF ANY ADJUSTMENT, MAINTENANCE OR REPAIR WILL BE REQUIRED. A RECEIPT SHOULD BE LEFT FOR YOUR RECORDS AND PROTECTION ON THE WORK THAT WAS PERFORMED.

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LAWN IRRIGATION

The home was equipped with a lawn irrigation system. The system DID NOT activate when turned on in the manual mode. THE SYSTEM SHOULD BE DEMONSTRATED BY THE SELLER OR FURTHER EVALUATED BY AN IRRIGATION CONTRACTOR. Testing of timers and control devices are not within the scope of the inspection. Adequacy of the system coverage is not evaluated in this inspection. Sprinkler systems should be maintained on a regular basis to ensure proper coverage and check for broken heads.



THE FOLLOWING DEFECTS WERE OBSERVED IN THE IRRIGATION SYSTEM: WOULD NOT TURN ON IN THE MANUAL MODE. FURTHER EVALUATION OF THE IRRIGATION SYSTEM SHOULD BE PERFORMED BY A LICENCED IRRIGATION CONTRACTOR.

INTERIOR WALLS & CEILINGS

When there have been additions and major renovations performed with a property in the past, we highly recommend that you obtain full and relevant documentation from sellers; including proper municipal permits.

The interior wall and ceiling surfaces were finished with drywall. Possible problem areas may not be identified if the interior wall and ceiling surfaces have been recently painted. There were no material defects observed in the visible portions of the interior walls and ceilings .

CRACKED FLOOR TILES WERE OBSERVED IN THE FOLLOWING AREAS OF THE HOME: HALL BATHROOM.

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WINDOWS AND DOORS

A representative number of accessible windows and doors were operated and found to be functional. The primary windows were constructed of aluminum, a single hung style, with single pane glass. All exterior doors were operated and found to be functional.

The exterior door locks should be changed or re-keyed upon occupancy. Periodic caulk maintenance is recommended around the exterior window frames to prevent water intrusion. Possible problem areas may not be identified if the windows or doors have been recently painted.

THE FOLLOWING DEFECTS WERE observed in the visible portions of the windows and doors .

THE CLOSET DOORS IN THE HOME WERE OFF THEIR TRACKS.



MULTIPLE WINDOWS REQUIRE MAINTENANCE. DIFFICULT OPERATION, SPRUNG BALLAST SPRINGS, AND

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DAMAGED AND MISSING SCREENS WERE NOTED AT THE TIME OF THE INSPECTION.

THE LOCKING HARDWARE FOR THE SLIDING DOORS IN THE LIVING ROOM AND DINING ROOM WAS NOT FUNCTIONAL.



FLOOR PLAN

The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, blinds, etc., are not addressed.

FIREPLACE

A wood burning fireplace was located in the family room. The damper did appear to be functional. There WAS visual evidence of moderate creosote buildup in the firebox and/or chimney. There were minor cracks observed in the firebox or visible portions of the chimney. For safety reasons, a fireplace and the chimney or pipe to which it is vented should be cleaned and re-inspected as there may be hidden defects, not fully visible at the time of the inspection. The fireplace was not tested for operation or function.



A HOME INSPECTION OF THE FIREPLACE AND CHIMNEY IS LIMITED TO THE READILY VISIBLE PORTIONS ONLY, AND THE FIREPLACE WAS NOT OPERATED. THE INNER REACHES OF THE FLUE ARE PRIMARILY INACCESSIBLE, AND OUR VIEW WAS NOT ADEQUATE TO IDENTIFY POSSIBLE DEFICIENCIES OR DAMAGE, EVEN WITH THE USE OF A STRONG LIGHT. FOR SAFE AND EFFICIENT OPERATION, WE RECOMMEND ANNUAL INSPECTIONS BY A QUALIFIED FIREPLACE PROFESSIONAL. A QUALIFIED CHIMNEY SWEEP CAN CLEAN THE INTERIOR IF NECESSARY, USING SPECIALIZED TOOLS, TESTING PROCEDURES, MIRRORS, AND VIDEO CAMERAS TO FULLY EVALUATE THE FIREPLACE SYSTEM. IF THE FIREPLACE HAS NOT BEEN CLEANED AND INSPECTED BY A QUALIFIED FIREPLACE PROFESSIONAL WITHIN THE PAST YEAR, WE RECOMMEND THIS BE DONE PRIOR TO USE.

SMOKE ALARMS

There were smoke alarms found in the property. Safety experts recommend that there be a detector in each room and

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recommend having a fire evacuation plan and periodic fire drills. Smoke alarms should be replaced every 7 years per most industry experts. For safety reasons, the smoke alarms should be tested, replaced or installed upon occupancy. The batteries (if any) should be replaced on an annual basis and the smoke alarms should be tested on a monthly basis.



The visible portions of the cabinets and counter tops were in good condition.

In keeping with the State of Florida Standards of Practice for Home Inspectors, HomeTeam uses the normal controls to verify the primary function of connected appliances. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components.

The kitchen contained the following appliances:



The Samsung electric oven/range was inspected and did activate at the time of the inspection. The accuracy of the clock, timers and settings on ovens are not within the scope of this inspection.

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The Samsung range hood and microwave combination was activated and did appear to be functional. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability.



The Whirlpool refrigerator was inspected and was functional. The temperature setting and ice maker, if present, and performance testing of the refrigerator are not within the scope of the inspection.



THE ICEMAKER WAS OFF AT THE TIME OF THE INSPECTION.

The Maytag dishwasher did activate. Performance testing, accessories, the condition of the interior and the operation of the timer and controls are not within the scope of our inspection.

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The ISE disposal was activated and did appear to be functional. The efficiency rating is not within the scope of the inspection.



HEATING AND AIR CONDITIONING

This report is based upon a visual inspection and does not constitute a guarantee or warranty of any kind or an estimate on the remaining life of the system. This inspection does not eliminate the need for routine maintenance, or purport to evaluate the system design or air flow balance. **No indoor air quality or mold testing was performed.**

The heating, and air conditioning system was working within industry standards at the time of our inspection. No components are taken apart or panels opened per State of Florida Standard of Practice for Home Inspectors. A full maintenance and cleaning service (air handler coils) with a check of the refrigerant charge is recommended after you move in for maximum energy efficiency and sanitation.

HVAC FIELD REPORT 1 - THERMOSTAT

The Thermostat is a microelectronic model. The Thermostat did operate normally for both cooling and heating.

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HVAC FIELD REPORT 2 - FILTER

The Filter was a throw-a-way style filter. The filter size is 18x24x1 and is the the correct size

The filters are in proper order.



12x12x1

THE FILTER(S) ARE DIRTY AND NEED TO BE REPLACED.

HVAC FIELD REPORT 3 - CONDENSING UNIT

Heat Pump

AGE 1 MFG Rheem MODEL # RP14AZ36AJ2NA

SERIAL # W362443985 TONNAGE 3 The maximum breaker size rating on the nameplate is 35 amps.

NOTE: The average operating life of a condenser in the Tampa area is 10-12 years although newer units are 12 - 15 years.

The average life of a heat pump is 12 - 15 years.

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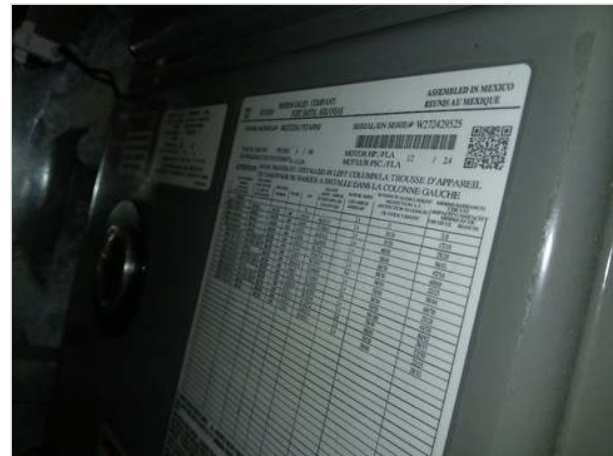


HVAC FIELD REPORT 4 - AIR HANDLER

AGE 1 MFG. Rheem MODEL RH2TZ3617STANNJ

SERIAL # W272429525 TONNAGE 3

NOTE: The average operating life of an air handler in the Tampa area is 10-12 years although newer units are 12 - 15 years.



The temperature drop across the evaporator coil is 21. degrees F. It is within industry guidelines.

The drain(s) are installed properly to provide adequate condensate discharge.

The system has a functional float switch installed.

It is recommended to check air filter monthly and change as necessary. Also, pour a 1/4 to a cup of white vinegar down the drain monthly.

The unit is installed horizontally in the attic with adequate serviceable space.

The secondary drain pan is functional and in good order.

HVAC FIELD REPORT 5 - DUCT SYSTEM

The duct system is constructed of Flex and duct board.

It is recommended that all adjustments, maintenance and repairs always be performed by an experienced HVAC contractor.

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HVAC FIELD REPORT 6 - MAINTENANCE & NOTES

HVAC INSPECTORS NAME: CHERYL BELL

Address of Inspection: 1234 Anytown Rd., Anywhere, USA 12345

REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

Intermittent or concealed problems: Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

No clues: These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

We always miss some minor things: Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$1000 problems. These are the things that affect people's decisions to purchase.

Contractor's advice: A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

"Last man in" theory: While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

Most recent advice is best: There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

Why didn't we see it?: Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem." There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

Not insurance: In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

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