



# HomeTeam<sup>®</sup>

## INSPECTION SERVICE

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### HOME INSPECTION REPORT



**Home. Safe. Home.**



## WHAT IS A HOME INSPECTION?

The purpose of a home inspection is to visually examine the readily accessible systems and components of the home. The inspectors are not required to move personal property, materials or any other objects that may impede access or limit visibility. Items that are unsafe or not functioning, in the opinion of the inspector, will be described in accordance with the standards of practice by which inspectors abide.

## WHAT DOES THIS REPORT MEAN TO YOU?

This inspection report is not intended as a guarantee, warranty or an insurance policy. Because your home is one of the largest investments you will ever make, use the information provided in this report and discuss the findings with your real estate agent and family to understand the current condition of the home.

## OUR INSPECTIONS EXCEED THE HIGHEST INDUSTRY STANDARDS.

Because we use a team of inspectors, each an expert in his or her field, our inspections are performed with greater efficiency and more expertise and therefore exceed the highest industry standards. We are pleased to provide this detailed report as a service to you, our client.

## WE BELIEVE IN YOUR DREAM OF HOME OWNERSHIP.

We want to help you get into your dream home. Therefore, we take great pride in assisting you with this decision making process. This is certainly a major achievement in your life. We are happy to be part of this important occasion and we appreciate the opportunity to help you realize your dream.

## WE EXCEED YOUR EXPECTATIONS.

Buying your new home is a major decision. Much hinges on the current condition of the home you have chosen. That is why we have developed the HomeTeam Inspection Report. Backed by HomeTeam's experience with hundreds of thousands of home inspections over the years, the report in your hand has been uniquely designed to meet and exceed the expectations of today's homebuyers. We are proud to deliver this high-quality document for your peace of mind. If you have any questions while reviewing this report, please contact us immediately.

**Thank you for allowing us the opportunity to serve you.**



FAST



TRUSTED



ACCURATE

File Number: 1132 - 100000

Address of Inspection: 123 Sample Drive



123 Sample Drive Leawood, KS 66206

(913) 642-3515

## HomeTeam<sup>®</sup>

### INSPECTION SERVICE

**RE: 123 Sample Drive**  
**Leawood, KS 66206**  
**Inspection #: 1132 - 100000**

Dear Bill Smith,

On 11/1/2016 HomeTeam Inspection Service made a visual inspection of the property referenced above. Enclosed please find a written, narrative report of our findings in accordance with the terms of our Home Inspection Agreement. Although maintenance items may have been addressed verbally at the time of the inspection, they may not be included in the enclosed report.

I trust the enclosed information is helpful and I hope you enjoy every aspect of your new home.

When you click your cursor on a summary item, it will auto-direct you to that issue within the body of the report.

Sincerely,

**HomeTeam Inspection Service**  
**Team One**



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**THIS SUMMARY SHOULD NOT BE SOLELY RELIED UPON AND THE REPORT SHOULD BE READ IN ITS ENTIRETY. THE SUMMARY IS NOT INTENDED TO BE ALL-INCLUSIVE OR CONTAIN DETAIL, WHICH CAN BE FOUND IN THE NARRATIVE. CATEGORIZATION OF ITEMS IS SUBJECTIVE IN NATURE, AND THE CLIENT(S) SHOULD REACH THEIR OWN DETERMINATION OF PRIORITIES.**

While we strive to prepare an accurate report of the condition of the property at the time of the inspection, it is virtually impossible to compile an exhaustive, complete, or definitive list of defects and areas of concern in these circumstances due to the time-limited nature and generalizations inherent with a home inspection, as well as areas of the property not being visible, not being accessible, or being considered dangerous and unsafe. The information contained in this report should not be construed as an exhaustive, complete, or definitive list of defects and areas of concern. Recommended repairs and/or renovation of this structure, or any part of this structure, as well as issues/defects and/or safety issues listed in the report, may expose additional defects or needed upgrades that could affect your evaluation of the property. We recommend that you act upon the stated issues and recommendations during the negotiations timetable. A home inspection is not designed to eliminate all risk, and cannot be relied upon to discover all defects that are not disclosed by the sellers. The home inspection is not a 'code inspection'. *All homeowners should anticipate normal problems and expenses as a normal part of home ownership. Things will go wrong in a home, appliances will malfunction, and you will discover additional 'problems' over time; to expect otherwise is not realistic ... that is a guarantee we can provide you without hesitation.* For that reason, a home inspection should not be considered an insurance policy.

This report is not transferable, and The HomeTeam will not be held responsible for use of misinterpretation of the inspection report by third parties. The applicable copyright laws protect this report, and it may not be reproduced in any manner without written permission from The HomeTeam Inspection Service.

Many, if not most, clients now obtain a one year warranty when they purchase a home. Increasingly, some warranty companies have an agenda to find cause to 'deny claims'. Often their denials are supposedly based upon 'pre-existing conditions'. Common sense dictates that if an organization wishes to find 'pre-existing conditions', there are typically 'pre-existing conditions' that lead to issues; such as leaks, electrical problems, etc. So, please do not assume that warranties provide blanket coverage. Issues will happen within homes, that is just the nature of homes. Prepare yourself accordingly.

## **Safety Issues**

1. Main level right side master bedroom had multiple loose outlets.
2. Living room - outlet on the right wall is loose
3. Right front bedroom had multiple loose outlets.
4. lower level right rear bedroom has multiple loose outlets
5. kitchen backsplash - outlet to the left of sink is loose
6. basement living area-several loose outlets
7. Intact foundation form tie on front right corner of home

## **Issues/Defects**

1. deck support post for in contact with soil and did not have proper mechanical fasteners; raised nailheads on handrail for steps and guard rail around deck
2. lower-level bathroom tank is loose on the toilet.
3. Direct vent gas fireplace glass front is cloudy.
4. Cottonwood Roofing will also inspect the roof and forward the findings
5. There is water pooling area near pad supporting deck steps
6. several gutter downspouts are emptying too close to the homes foundation, recommend extending 8 to 10 feet
7. hose bibb on left front of home leaks at faucet knob
8. lower level bathroom entry door does not latch properly.

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9. landscaping material in contact with heat pump/AC condensing unit
10. main level right side master bedroom entry door drags the carpet, entry doors to bathroom drag the carpet.
11. Basement living area-left back window did not open; right back window could not be checked because of furniture placement
12. landscaping material in contact with siding underneath deck
13. flashing missing over top exterior of left front window

Figure Number 1



## GENERAL DESCRIPTION

Throughout this report, the terms "right" and "left" are used to describe the home as viewed when facing the front of the home. The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., is not addressed. All conditions are reported as they existed at the time of the inspection. The photographs included in this report are representative only and they should not be construed as a comprehensive pictorial representation of the components and/or defects in the home.

Routine maintenance and safety items are not within the scope of this inspection unless they otherwise constitute major, visually observable defects. Although some maintenance and/or safety items may be disclosed, this report does not include all maintenance or safety items, and should not be relied upon for such items.

This inspection is limited to the readily accessible, visible components of the home and does not address the insurability of the property. This is not a code inspection. Zoning, easements, set-backs, restrictions, or home owners association rules, by-laws, or codes are not within the scope of this inspection. The clients should realize that an inspection is not designed to prevent breakdowns, water leakage, malfunctions, and maintenance requirements of structural and mechanical components in and around the home.

The clients can be assured that these issues will occur as a normal part of home ownership. As a home ages, increasing amounts of breakdowns and expenses should be anticipated. A regular checkup and maintenance routine, such as those provided through our website, will help to extend the longevity, appearance, and overall value of a home and its components.

The approximate temperature at the time of the inspection was 75 degrees, and the weather was clear and dry. Utilities were on at the time of the inspection.

The inspected property consisted of a reverse 1 1/2 story structure with stucco and composite hardboard siding, and it was occupied at the time of the inspection. Most people refer to composite hardboard and board & batten siding as fake wood or composite wood. The siding is man-made, utilizing various combinations of wood chips and glue, manufactured to resemble real wood. Some wood chips are large while some are very fine-grained, overlaid with very thin laminate to give a real wood look on the surface. These products come in lap and panel siding. Lap siding runs horizontally, and each board laps over the other. Panel siding is a 4x8 or 4x9 sheet of paneling.

There have been well over 100 different types of wood composite sidings manufactured in the last fifty years. They have been manufactured to look like horizontal lap siding, panel (T1-11) siding, board & batten siding, cedar shingle siding, and just about anything else available in real wood.

Most wood composite siding products are made with wood by-products such as Oriented Strand Board (OSB) (also known as Wafer Wood) or sawdust. The by-products are generally mixed with resins and pressed together to make panels typically 3/8" to 5/8" thick. Next, faux wood-grain embossed overlays are adhered to the face of the panels with resin and heat. Finally, the large panels are cut into smaller panels or lap siding.

These products should be protected from water intrusion, which penetrates inadequately sealed/protected joints, line entries, panel edges, and recessed nail holes. Water absorption often results in composite hardboard siding swelling and product decay.

landscaping material in contact with siding underneath deck

Figure Number 2



flashing missing over top exterior of left front window

Figure Number 3



The home was situated on a lightly sloped lot. Positive drainage is generally considered to be a one-inch per foot drop away from the home for the first six to ten feet. Soil conditions do change over time, and the positive drainage should be maintained throughout the life of the structure. Maintenance would include maintaining the soil grade, gutters, downspouts/extensions, and subterranean drain tile. There was a concrete driveway, walkway, and stoop in front of the home. The age of the home, as reported by the seller disclosure, was said to be 8 years old.



Figure Number 4



Figure Number 5



There is water pooling area near pad supporting deck steps

Figure Number 6



several gutter downspouts are emptying too close to the homes foundation, recommend extending 8 to 10 feet

## **GARAGE**

The attached garage was designed for two cars with access provided by one overhead style door(s). The Lift Master brand electric garage door operator(s) was tested and found to be functional. The automatic safety reverse on the garage door(s) was tested and found to be functional (photo-eye).

Figure Number 7



radon mitigation system monitoring station

## **DECKS**

There was a wood deck located in the back of the home. Attachment of the deck to the home was with lag bolts, preferred for structural stability.

Figure Number 8



Figure Number 9



Figure Number 10

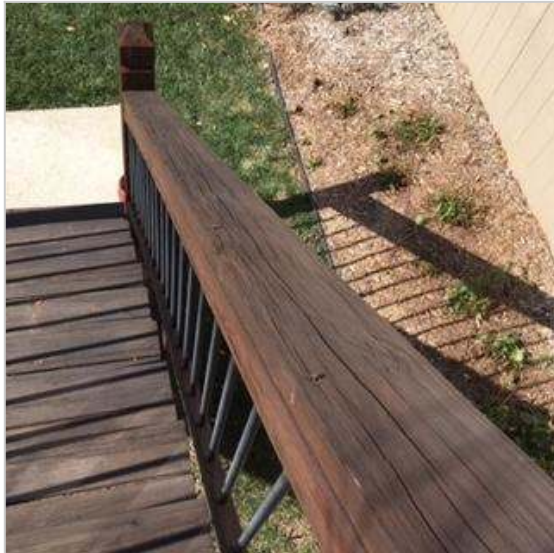
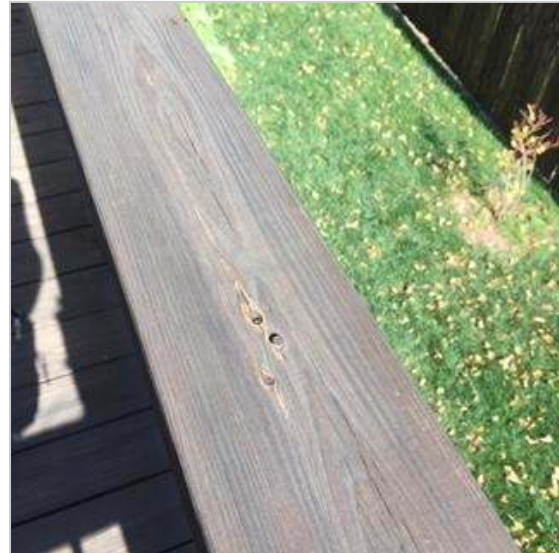


Figure Number 11



deck support post for in contact with soil and did not have proper mechanical fasteners; raised nailheads on handrail for steps and guard rail around deck

## ROOF STRUCTURE

The roof was a contemporary design covered with architectural composite shingles. Observation of the roof surfaces and flashing was performed from the lower rooftop, and with a ladder at the eaves level. The age of the roof covering, as reported by the seller disclosure, was approximately 8 years old. There appeared to be one layer of shingles on the roof at the time of the inspection.

No curling and light surface wear was observed on the roof shingles at the time of the inspection. These conditions indicate the roof shingles were in the first half of their useful life.

Leaks often are not detected during a typical inspection - especially if no rain falls during the examination. Therefore, buyers who wish to reduce their risks should do the following:

- Examine the home (listen in the attic for falling drops) during the next rain to see if there are any leaks.
- Ask the seller if there are any known leaks.
- Concerns on your part should be referred to a qualified, licensed roofing contractor.

This visual roof inspection is not intended as a warranty or an estimate on the remaining life of the roof. Sometimes our opinion of a roof may differ from that of the insurance adjuster or contractor. This depends greatly on which company or individual is providing insurance or opinions, as well as which adjuster is evaluating



it. Some insurance providers are more particular than others when it comes to evaluating and insuring a roof. One provider might find a roof unacceptable to their standards while another finds it within their guidelines. We are there to state the overall condition of the roof and the roof is not considered defective unless there are visible leaks and/or major damage or wear that indicate failure is imminent.

Figure Number 12



Cottonwood Roofing will also inspect the roof and forward the findings

The roof drainage system consisted of aluminum gutters and downspouts, which appeared to be functional at the time of the inspection. Gutters and downspouts should receive routine maintenance to prevent premature failure. Roof gutters should not have low sections that may spill water that could saturate soil next to the house. In addition, the gutters should be clear from excess leaves and debris that might cause water to spill. Ensure that there are no splits in the downspouts, and that no joints or seams leak in the gutters or downspouts.

Water flow from downspout extensions or splash blocks should be carried several feet from the foundation and the downspouts should be securely attached to the structure. Downspouts that carry roof water far from the house are perhaps the most important part of the foundation drainage system. Properly functioning drainage systems are often the most important items for extending the life expectancy of the house.

A semiannual inspection of your gutters will prolong their life. Each spring and fall, clean the gutters and leaf traps of all debris. Place a hose into the downspout and check that the water runs freely.

## **FOUNDATION**

The foundation was constructed of poured concrete, and no major defects were observed. Soil conditions, including drainage issues, will often affect settlement of a home. Poor drainage can double or triple the forces on foundation walls. Lateral movement of the walls, heaving, and water damage can result. New homes will generally start to settle within the first three years, when weak soil conditions are present.

Also, homes may start to settle during drought conditions, especially if large trees are near the structure. If settlement is due to drought conditions, eliminating the drought conditions will often stop the settlement. This should be completed in order to minimize changes in the moisture content of the subsoil beneath the home. In many cases, as the soil receives more moisture, it will expand and move the foundation closer to its original position. A single inspection cannot determine whether movement of a foundation has ceased. Any cracks should be monitored regularly. Rarely are building settlements a rapid process, and you generally have enough time to go slowly and consider all the factors.

Vertical cracks are due to material shrinkage and differential shifting caused by swelling and shrinkage of the expansive clay subsoil beneath the home, referred to as subsidence. Predicting future changes in the conditions of the buildings or components is impossible. During drought seasons in the KC area, it is not advisable to pier until such time that you have tried the watering process. One should also water the trees around the home, on the opposite side of the tree. Then as you water around the home, it will not be forcing the tree to pull water away from the home. It is important to monitor foundation and internal drywall cracks for the probable rebound of the foundation systems.

Should concerns arise about any perceived structural movement and/or damage, a licensed structural engineer should be consulted to determine the cause and extent of the damage, and to make repair recommendations.

Figure Number 13



Intact foundation form tie on front right corner of home

**BASEMENT (LOWER LEVEL):**

The basement was mostly finished. There was a radon-sealed, unit not tested, sump pump.

The basement was dry at the time of the inspection. Because the basement is below grade, there exists a vulnerability to moisture penetration after heavy rains. Water leaks in the majority of 'wet basements' are due to poor drainage around the exterior. Significant reductions, or even elimination, of the leakage can be obtained through improvements of the exterior grade and maintenance of the gutters and downspouts.

Dampness on basement walls is not always a sign of water intrusion. The dampness can be the result of warm humid air making contact with cool walls. In many cases the humid air condenses on the walls and forms a layer of moisture. It is important to assess whether moisture on the basement walls is the result of water intrusion or condensation. Condensation can usually be controlled by a dehumidifier. Many water intrusion problems can be controlled by improving the drainage on the exterior of the home. Likewise, it is important that all roof drainage and surface water is directed away from the foundation.

Please note that it is not within the scope of this inspection to determine or predict the amount or frequency of past or future water intrusion into the basement. Consult with a company specializing in water proofing if you require a guarantee of a 100 percent dry basement.

Even optimum foundation/basement walls may leak once or twice in the life of a home, following a record rainfall. On the basis of one incident, owners may be wise to monitor the situations for any recurrence; versus embarking upon an expensive and, sometimes, counterproductive remedial program.

If any of the finished basement rooms are intended to serve as bedrooms, there should be a proper egress; rather it be a window or other means of safe egress. Consult with local code authorities if questions.

Figure Number 14



Figure Number 15



Basement had a sump pump battery backup system that was functional at this time.

## **FLOOR STRUCTURE**

The visible floor structure consisted of an O.S.B. sub floor, supported by two-inch by ten-inch wood joists. There was a eight -inch steel I-Beam center beam and 3 1/2 -inch steel posts for load bearing support.

## **PLUMBING/BATHS**

The visible water supply lines throughout the home were primarily plastic PEX pipe. Water was supplied by a public water supply. Visible waste lines consisted of PVC pipe, and drain waste vents were observed exiting above the roofline. The home was connected to a public sewer system. Plumbing fixtures that were accessible and not permanently attached to a household appliance were operated and inspected for visible leaks. Shutoff valves are not operated, due to the propensity for leakage. Water flow exiting the home was average. A drain is considered functional if it can drain water as fast as water can flow into it.

The HomeTeam conducts only a visual inspection of water pressure and drainage. Check valves at main water shutoffs can result in significant increases in water pressure when hot water is being used in a home, and heated in water heaters. Water pressure and drainage often changes and fluctuates over time, and the owners should monitor their own systems once they take occupancy. Also, what is deemed satisfactory to one person may be deemed unsatisfactory to another. Higher water pressures may cause advanced deterioration of supply system and components, premature failure of faucets and connections, and leaks. Water leaks can develop at any time when water pressure is too high. Should the clients encounter any issues or have concerns, they are advised to contact a licensed, professional plumber regarding options, such as installation or adjustment of a regulator at the main water shutoff location.

Although you might not realize it, most of us operate during the same hours during the day. So, low water pressure could be the result of the majority of your neighborhood using the shower at the same time every morning or watering the lawn at the same time every evening. If that's the case, you might look at altering your schedule a bit. This is one more reason why testing water pressure at one isolated point in time can be misleading. It is no assurance that pressures will not be lower and/or higher at different times.

Clients are advised to ask sellers about any and all past plumbing leaks as a standard procedure in purchasing a home. An inspection is not intended to uncover all issues that may or may not have been repaired and are not disclosed. Determining reasons and causes of water stains and repairs is often speculation without invasive testing being performed (which is not performed with a standard whole house inspection), and are not always revealed even with invasive testing. Therefore, being able to rely upon honest and full disclosure from the selling parties is a critical element of a home purchase transaction. The clients should ask the appropriate questions regarding all aspects of the selling parties' home issues, breakdowns, repairs, defects, and safety issues; and should expect complete and forthright responses. Clients may wish to have a licensed plumber 'scope' the main sewer line (from home to city connect) during the negotiation period. This would be particularly advisable if the home has had a history of sewer backups, evidence of backups, or the home is older with large trees on the lot.

Mold, mildew, fungus and other toxic organisms commonly occur in areas that show evidence of, or have the potential for, leaking, moisture intrusion and/or inadequate ventilation. Any area or item exhibiting such conditions can be a health hazard to some people. The identification of the organism(s) is beyond the scope of this home inspection. If, after reviewing the below information, you have additional questions or want further investigation, I recommend that you contact a Certified Industrial Hygienist, usually listed in the yellow pages under "Industrial Hygiene Consultants" to determine if there exists an ongoing climate for incubation or microbial contamination. You may want to identify and review other sources of information. United States Environmental Protection Agency information available on the EPA web site at <http://www.epa.gov/iaq/molds/moldguide.html> provides a document titled "A Brief Guide to Mold, Moisture, and Your Home".



Figure Number 16



Figure Number 17



lower-level bathroom tank is loose on the toilet. Grout cracks in the corners of the shower.

hose bib on left front of home leaks at faucet knob

Figure Number 18



## **GAS METER**

The gas meter was located on the left side of home. Although no actual testing was performed to detect the presence of gas fumes, there was no noticeable odor of gas detected at the time of the inspection. Gas Leak Alarms are similar to a smoke or carbon monoxide detector. They can be installed independently of your alarm system or can be interconnected. The installation of a Gas Leak detector is very important in basements that contain Gas Line, Gas Furnaces, Gas Water Heaters. Natural and Propane Gas are heavier than Air so a Gas leak in your basement may result in the filling of your basement with toxic levels of gas. If you were to enter a room full of Natural or Propane Gas, breathing would be impaired. It is always a good idea to include a Gas Detector near a furnace or water heater if it is located anywhere within your home. If there are flexible gas lines in a home it is now required in some municipalities that this type of gas line be bonded (Grounded - tracking these code issues is beyond scope of inspection).

## **WATER METER**

The water meter was located in the basement. The main water shutoff valve (and regulator) for the home was located adjacent to the water service entry point in the basement. Every member of the family should know the location of the main shutoff valve so they can cut off the water in the event of a leak.

Figure Number 19



Figure Number 20



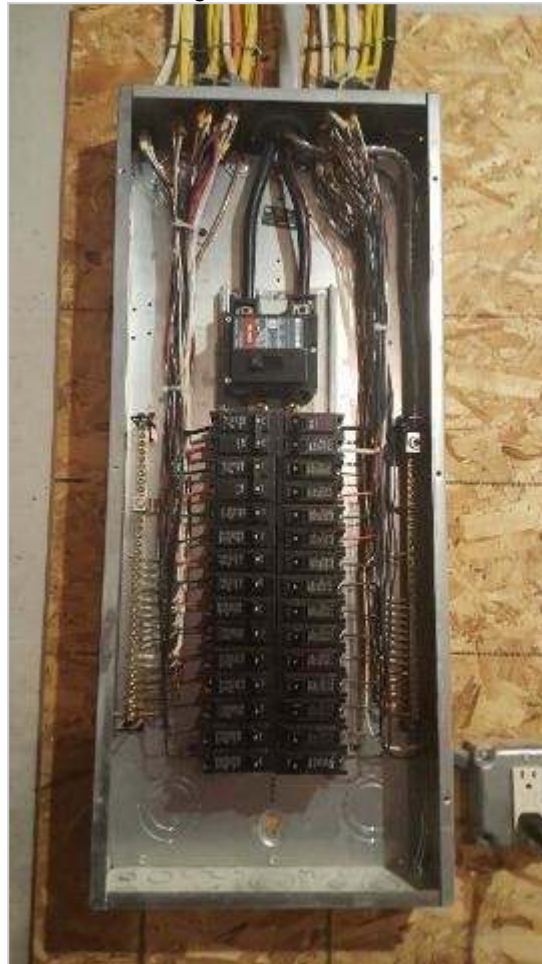
## **WATER HEATER**

There was a 40-gallon capacity, natural gas water heater located in the basement. Rheem manufactured the water heater. Information on the water heater indicated that it was manufactured 9 year(s) ago. A temperature and pressure relief valve (T & P) was present. Because of the lime build-up typical of T & P valves, we do not test them. An overflow leg was present, and it did properly terminate close to the floor. Your safety depends on the presence of a T & P valve and an overflow leg terminating close to the floor. Ventilation for the water heater unit appeared to be adequate. The water heater was functional. A temperature of 120 degrees or less is generally adequate for residential use, and higher temperatures only increase the potential for scalding. In addition, the U.S. Department of Energy states that water heating for a typical home now accounts for approximately 17 percent of the total annual energy bill.

## **ELECTRIC SERVICE**

The underground service entrance cable entered the home on the right wall. The service wire entered a Cutler Hammer service panel, located on the basement utility room wall with a 200 amp service. The branch circuit conductors that were visible within the panel were primarily copper. Grounds of the main service were observed at the incoming metallic plumbing service line and outside earth ground. The visible house wiring consisted primarily of the modern romex type and appeared to be in good overall condition. Every person in the house should know where the main disconnect is located. And everyone should know how to turn off all power in case a dangerous electrical event occurs.

Figure Number 21



A representative number of installed lighting fixtures, switches, and receptacles located throughout the home were inspected. The grounding and polarity of receptacles within six feet of plumbing fixtures, and those attached to ground fault circuit interrupters (GFCI), if present, were also tested. All GFCI receptacles and GFCI circuit breakers should be tested monthly. There were GFCI protected circuit(s) located in the home.

The presence/installation of GFCIs in kitchens, baths, garages, basements, outdoor receptacles, and any other high-risk areas, will increase the overall safety of the electrical system. The ground-fault circuit-interrupter (GFCI) receptacle protects against electrical shock caused by a faulty appliance, or a worn cord or plug. It senses small changes in current flow and can shut off power in as little as 1/40 of a second. The GFCI receptacle may be wired to protect only itself (single location), or it can be wired to protect all receptacles, switches, and light fixtures from the GFCI "forward" to the end of the circuit (multiple locations). Alarms, electronic keypads, remote control devices, landscape lighting, telephone and television, and all electric company equipment were beyond the scope of this inspection.

Main level right side master bedroom had multiple loose outlets.

kitchen backsplash - outlet to the left of sink is loose

Living room - outlet on the right wall is loose

Right front bedroom had multiple loose outlets.

basement living area-several loose outlets

lower level right rear bedroom has multiple loose outlets

## **SMOKE ALARMS**

For safety reasons, the smoke alarms should be installed as needed and/or tested upon occupancy. If the home

were to be constructed today, standards would require installation of detectors in each sleeping room and in the hallway accessing each sleeping area. Multi story dwellings would require a detector on each level. Future installation of additional detectors at any unprotected location is suggested for increased fire safety. The built in test button when present only verifies proper battery, power, and/or horn function, but does not test the smoke sensor. We suggest that the units be tested with real or simulated smoke at move-in and that fresh batteries be installed as required and tested monthly as recommended by the Consumer Product Safety Commission. Otherwise, it is recommended that the client properly dispose of all inherited smoke detectors; and purchase and install new units for every appropriate location within the home. Testing units at the time of inspection, and typically at least one month prior to closing, would lead clients to a false sense of security and complacency regarding their safety. These units have a limited shelf life, so you should not entrust your safety to inherited units.

As an added protection, a carbon monoxide and gas detector should be purchased and installed according to the manufacturer's recommendations.

## **WINDOWS & DOORS**

A representative number of accessible windows were operated. The primary windows were constructed of vinyl, single hung style, with double pane glass.

During the inspection of the exterior, an inspector can check the windows that are readily accessible. The windows on the second or third floors are not readily accessible, restricting the inspection. Lower-floor windows are often restricted from inspection by bushes and dense vegetation.

A representative number of exterior and interior doors were operated. The exterior door locks should be changed or re-keyed upon occupancy. Possible problem areas may not be identified if the windows or doors have been recently painted.

main level right side master bedroom entry door drags the carpet, entry doors to bathroom drag the carpet.

lower level bathroom entry door does not latch properly.

Basement living area-left back window did not open; right back window could not be checked because of furniture placement

## **WALLS & CEILINGS**

Drywall joint cracking often has little to do with drywall installation quality and everything to do with the use of non-dry framing members and foundation settling. It typically can take 4 to 10 years for insulated and sealed framing lumber that was not at the right moisture content to get to the right moisture content and quit contracting. Until that happens (if indeed this is the problem) you will continue to experience drywall joint cracking, nail pops, as well as sticking doors and windows that gradually slide less well.

## **LIVING LEVEL(S)**

The HomeTeam inspects for evidence of structural failure and safety concerns only. The cosmetic condition of the paint, wall covering, carpeting, window coverings, etc., is not addressed. If you are buying a home and wish to reduce your risks as much as possible, ask sellers to explain stains or repaired areas (if any) on ceilings, walls, and floors.

Recaulking and regrouting is common owner maintenance. While this normally is not a cause for concern, it is in today's world of mold disclosure and mold claims. Client should understand that the time of, and reason for, the recaulking/regrouting cannot be determined and that moisture penetration into the structural framing might have occurred, possibly causing structural damage or promoting mold growth. Remodeling or removal of shower and/or bathtub sections could indicate moisture damage or structural damage that was concealed at the time of

the inspection. Concealed defects or concealed problems are not within the scope of the home inspection. The clients are encouraged to ask the sellers about prior water damage, repairs, and any concealed defects that may be present.

A direct vent gas fireplace was located in the living room. The fireplace was operational.

Figure Number 22



Direct vent gas fireplace glass front is cloudy.

The visible portions of the kitchen cabinets and counter tops were in good condition. In keeping with the standards of the American Society of Home Inspectors (ASHI), inspectors are not required to inspect the household appliances and, accordingly, household appliances are not within the scope of the inspection. As a customer service, HomeTeam inspectors have turned on the appliances to check operational function only. No warranty, express or implied, is given for the continued operational integrity of the appliances or their components. The kitchen contained the following appliances:

In the event the buyers are interested in researching any product recalls, the Consumer Product Safety Commission's website can be found at: [www.cpsc.gov](http://www.cpsc.gov). The General Electric electric oven and range was inspected and appeared to be functional. The accuracy of the clock, timers, settings, efficiency ratings, and icemakers on appliances are not within the scope of this inspection.

### **range hood**

The General Electric range hood and microwave combination was inspected and appeared to be functional. The exhaust capacity is not within the scope of this inspection. Cleaning the fan and filter may increase the exhaust capability and reduce a fire hazard caused by grease buildup.

The General Electric refrigerator was inspected and appeared to be functional.

The General Electric dishwasher did activate and was observed through one wash and pump out cycle. Performance testing, accessories, the condition of the interior and the operation of the timer and controls are not within the scope of our inspection. Monitor dishwashers by carefully inspecting for water leakage, and inspect the ceiling below it.

The ISE disposal was inspected and appeared to be functional.

### **ATTIC STRUCTURE**

The attic was accessed through a scuttle in the garage. The attic above the living space was insulated with cellulose loose-fill insulation, approximately 8-inches in depth, resulting in an approximate R-Factor of 25-30. 65 to 75 percent of the insulation value of a one story home is in the attic. (Interestingly, up to 20 percent of the air infiltration within an average home is through the wall outlets). Soffit and static roof vents provided ventilation throughout the attic. The roof structure consisted of two-inch by six-inch wood rafters spaced 16 inches on center and OSB (Oriented Strand Board) sheathing.

During winter, an attic must have more ventilation than during summer because windows and doors are usually kept closed in cold weather. Unless water vapor, produced by the use of bathtubs, showers, and home appliances, is removed by adequate ventilation, it will soak and destroy insulation and perhaps even rot rafters.



A properly ventilated attic will prolong the life of the roof, reduce leakage caused by ice dams (especially if attic insulation is also adequate), reduce cooling bills, and reduce moisture buildup in the attic that can lead to rot. It is one of the best low-cost improvements you can make to a home. This attic appeared to be adequately ventilated.

Because of the configuration of the framing/decking and insulation, which limited access, it was not possible to inspect all areas of the attic. There was no moisture visible in the attic space. The absence of visible indications of moisture is not necessarily conclusive evidence that the roof is free from leaks. The only way to ensure a roof is not leaking is to inspect the underside of the roof during a heavy rain.

Figure Number 23



Figure Number 24



Figure Number 25



## HVAC INSPECTION REPORT

Annual maintenance of the heating and cooling equipment is essential for safe and efficient performance, which will maximize the system's useful life.

The results of our visual and operational inspection of the heating and air conditioning system are described below. Periodic preventive maintenance is recommended to keep this unit in good working condition. The home was heated by a Trane natural gas forced air furnace, and it is 9 years old.

The unit was located in the basement of the home. It has an approximate net heating capacity of 100,000 BTUH. CO symptoms are likely to be mistaken for flu symptoms, so all homes with an attached garage, fireplace, or fossil-fueled appliances(s) should be equipped with a carbon monoxide (CO) detector placed near the sleeping area. The furnace was found to be functional. When the visual inspection results in recommendations for cleaning and/or service, further evaluations may result in recommendations for additional service or upgrades; advise clients to therefore pursue prior to the close of negotiations.

### **FILTER TYPE**

The furnace filter should be replaced on a regular or cleaned (if washable or electronic) basis to maintain the efficiency of the system; wide high-efficiency filters typically need to be replaced once or twice a year. The efficiency rating is not within the scope of this inspection.

### **AIR CONDITIONER**

The electric outdoor heat pump condensing unit(s) was a Trane 3.5 ton unit located on the right side of the home, and it is approximately 6 years old. Periodic preventive maintenance is recommended to keep this unit(s) in good working condition. The air condensing unit(s) was operational. The condensing unit was visually inspected, however, as with all structural and mechanical aspect/components within the home, the inspection is not an express or implied guaranty or warranty regarding the condition or continued operation of the air

conditioning system.

Figure Number 26



landscaping material in contact with heat pump/AC condensing unit

## **DUCTWORK**

Ducts should be inspected once each year. Repair those with loose joints or holes that are losing expensive conditioned air to unfinished spaces. Airflow throughout the house may be balanced by adjusting any dampers in the supply ducts, or by adjusting the supply registers.

Although not all of the air supply registers could be accessed due to height and/or furnishings, airflow appeared to be adequate.

## **CONTROLS**

The control for the heating and air conditioning system was a digital programmable 24-volt thermostat located on the first floor hallway wall of the home. The thermostat was manufactured by Trane and was found to be in working order. Settings were returned to 'auto cool 73'

Figure Number 27



## **PEST INSPECTION**

Weavers performed the pest inspection. Their report was provided separately.

### **REASONABLE EXPECTATIONS REGARDING A PROFESSIONAL HOME INSPECTION:**

There may come a time when you discover something wrong with the house, and you may be upset or disappointed with your home inspection. There are some things we'd like you to keep in mind.

**Intermittent or concealed problems:** Some problems can only be discovered by living in a house. They cannot be discovered during the few hours of a home inspection. For example, some shower stalls leak when people are in the shower, but do not leak when you simply turn on the tap. Some roofs and basements only leak when specific conditions exist. Some problems will only be discovered when carpets are lifted, furniture is moved or finishes are removed.

**No clues:** These problems may have existed at the time of the inspection, but there were no clues as to their existence. Our inspections are based on the past performance of the house. If there are no clues of a past problem, it is unfair to assume we should foresee a future problem.

**We always miss some minor things:** Some say we are inconsistent because our reports identify some minor problems but not others. The minor problems that are identified were discovered while looking for more significant problems. We note them simply as a courtesy. The intent of the inspection is not to find the \$200 problems; it is to find the \$1000 problems. These are the things that affect people's decisions to purchase.

**Contractor's advice:** A common source of dissatisfaction with home inspectors comes from comments made by contractors. Contractors' opinions often differ from ours. Don't be surprised when three roofers all say the roof needs replacement, when we said that the roof would last a few more years with some minor repairs.

**"Last man in" theory:** While our advice represents the most prudent thing to do, many contractors are reluctant to undertake these repairs. This is because of the "last man in" theory. The contractor fears that if he is the last person to work on the roof, he will get blamed if the roof leaks, regardless of whether or not the roof leak is his fault. Consequently, he won't want to do a minor repair with high liability, when he could re-roof the entire house for more money and reduce the likelihood of a callback. This is understandable.

**Most recent advice is best:** There is more to the "last man in" theory. It suggests that it is human nature for homeowners to believe the last bit of expert advice they receive, even if it is contrary to previous advice. As home inspectors, we unfortunately find ourselves in the position of "first man in" and consequently it is our advice that is often disbelieved.

**Why didn't we see it?:** Contractors may say, "I can't believe you had this house inspected, and they didn't find this problem."

There are several reasons for these apparent oversights:

- **Conditions during inspection:** It is difficult for homeowners to remember the circumstances in the house at the time of the inspection. Homeowners seldom remember that it was snowing, there was storage everywhere or that the furnace could not be turned on because the air conditioning was operating, etc. It's impossible for contractors to know what the circumstances were when the inspection was performed.
- **This wisdom of hindsight:** When the problem manifests itself, it is very easy to have 20/20 hindsight. Anybody can say that the basement is wet when there is 2" of water on the floor. Predicting the problem is a different story.
- **A long look;** If we spent half an hour under the kitchen sink or 45 minutes disassembling the furnace, we'd find more problems, too. Unfortunately, the inspection would take several days and would cost considerably more.
- **We're generalists:** We are generalists; we are not specialists. The heating contractor may indeed have more heating expertise than we do. This is because we are expected to have heating expertise and plumbing expertise, structural expertise, electrical expertise, etc.
- **An invasive look:** Problems often become apparent when carpets or plaster are removed, when fixtures or cabinets are pulled out, and so on. A home inspection is a visual examination. We don't perform invasive or destructive tests.

**Not insurance:** In conclusion, a home inspection is designed to better your odds. It is not designed to eliminate all risk. For that reason, a home inspection should not be considered an insurance policy. The premium that an insurance company would have to charge for a policy with no deductible, no limit and an indefinite policy period would be considerably more than the fee we charge. It would also not include the value added by the inspection.

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